



City of Indio GENERAL PLAN - 2020



**Community
Development**



**Environmental
Resources**



**Public Health
and Safety**



Housing



95 00341

INDIO GENERAL PLAN 2020

VOLUME I

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UNIVERSITY OF CALIFORNIA

Prepared for:

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OCTOBER 1993



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ACKNOWLEDGEMENTS

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Welcome to the Indio General Plan - 2020

The Indio General Plan represents a 2-year effort by those who live, work, invest, and recreate in Indio and the surrounding environs to plan for their future. This effort was undertaken in order to plan for a diversified City that offers residential opportunities to all ages and income levels; encourages the development of the City's employment base to provide a range of employment opportunities; supports a broad commercial base that is diversified both in type and in location; protects the health, safety, and welfare of all persons in the community; offers the residents of Indio a choice of recreational opportunities that are close to home; plans for the infrastructure needed to support the community today and tomorrow; and gives the City a set of flexible land use designations that provide both structured guidance as well as opportunities for innovation.

This summary is meant to provide the reader with an overview of the Indio General Plan and its seven component documents. In this summary, the first section will give an overview of the General Plan's organization and content. This is followed by additional sections that provide an overview of each of the major General Plan documents.

1.1 USING THE GENERAL PLAN

In preparing the Indio General Plan document, one of the primary goals was to produce a document that is usable and user-friendly. In order to do this, the General Plan has been divided into a series of seven linked documents to make it easier for readers to find the information they need without wading through information they do not need at the time. For instance, if readers want to know the existing biology for a portion of the Planning Area, they can turn to Section 4.5 in the Environmental Setting Report (ESR). If they want to know the City's goals and policies related to biological resources, they can read Section 4.5 in the Goals and Policies Report (GPR).

The above examples bring up another point in the ease of using these documents. The major documents that make up the General Plan have been organized so that a reader can easily access information between two documents. The documents marked with a solid square (■) in Section 1.2 have been organized so that their main chapters match each other. As shown above, Section 4.5 deals with biological resources in the

ESR, Community Issues Report (CIR), GPR, and the General Plan Environmental Impact Report (EIR).

Another effort at making the General Plan easier to use was done by reducing redundant information whenever possible. Excluding the summary, the other General Plan documents have been designed so that information is not repeated in several locations. This makes the documents both easier to use and maintain in the future. The following are examples of this consolidation.

- ▶ The ESR provides a single document approach to describing the existing conditions in the Planning Area. This document provides the existing conditions data used by both the GPR and the EIR.
- ▶ The General Plan summary has been designed to summarize all of the documents within the General Plan, including the EIR. This arrangement provides the reader with one place to look for the information.

INTRODUCTION

- ▶ The EIR itself does not contain a mitigation monitoring plan. All of the mitigations formulated through the impact analysis have been incorporated as implementation measures within the GPR. In order to meet the legal requirements for providing a mitigation monitoring plan, the implementation measures in the General Plan have been designed to list the program, which is responsible for its implementation, and a timing requirement.

1.2 GENERAL PLAN DOCUMENTS

The following section will provide a brief overview of the contents of the seven documents that make up the General Plan. As stated above, the documents marked with a solid square (■) are linked to each other for easy access of information.

- **General Plan Summary.** This document, provides a one-stop location for getting an overview of the General Plan and the component documents. For many interested parties, this may be the only document they need to read to get an overview of what is proposed. This document describes the Planning Area, summarizes the General Plan goals and policies, provides an overview of the environmental setting, summarizes the community issues raised during the preparation of the General Plan, and presents environmental impacts associated with the proposed plan.
- **Goals and Policies Report.** The GPR is the heart of the new General Plan. This report contains the plan for the future development and operation of the City of Indio. As the name suggests, this document provides the goals and policies that the City will follow, and it also contains a full set of implementation measures that will ensure the success of the General Plan.
- **Environmental Setting Report.** This document is designed to provide the reader with a detailed overview of the existing conditions within the Planning Area prior to adoption of the new General Plan.
- **Community Issues Report.** During preparation of the General Plan, a series of interviews were held with groups of community leaders, staff, City Council, Planning Commission, and the

general public to start formulating a plan for the Indio of tomorrow. In these interviews, people were asked what they found desirable in a city. The list derived was then compared to how well Indio met these criteria. In addition to these interviews, several workshops were held with the public at large, with residents from the different areas within Indio, and during office hour sessions at City Hall. The information and ideas collected during these sessions were then summarized by each General Plan element and subelement (i.e., Land Use, Housing).

- **Environmental Impact Report.** This document is provided to meet the requirements of the California Environmental Quality Act (CEQA). The EIR provides an assessment of the environmental impacts associated with the approval and implementation of the General Plan's goals, policies, and implementation measures. In evaluating the General Plan, the Planning Commission and City Council will need to understand the potential impacts associated with the project prior to taking action on the plan.
- **Appendices.** The appendices to the General Plan provide technical details and calculations that support the findings and conclusions contained within the other documents. The appendices contained in this document include the following:
 - ▶ Appendix A contains a summary of proposed land uses by land use designation and by Traffic Analysis Zone (TAZ).
 - ▶ Appendix B contains the final and draft traffic study for the General Plan. The draft study modeled the land uses proposed in the Draft General Plan, and the final study supplemented this information to reflect the final land use decision.
 - ▶ Appendix C contains the economic studies prepared for the General Plan. The first study in the appendix evaluates the impacts of the proposed plan. The second study was an economic forecast used to prepare the Draft General Plan.
 - ▶ Appendix D contains the fall cultural resources study conducted for the ESR.

- ▶ Appendix E and F contain the noise and air quality analyses, respectively, conducted for the General Plan.
 - ▶ Appendix G contains the Notice of Preparation (NOP), persons contacted, and response obtained from the NOP.
 - ▶ Appendix H contains a list of suggested significance criteria to be used in the evaluation of future projects from an environmental perspective.
- ☐ **Preparation Resources.** This document provides information on references cited in the General Plan, agency contacts, and a list of preparers of these documents.

1.3 REGIONAL LOCATION

The City of Indio is located in Riverside County, approximately 120 miles directly east of Los Angeles and 15 miles east of Palm Springs. Adjacent jurisdictions include the City of La Quinta to the west, an unincorporated area of Riverside County to the south, the City of Coachella to the east, and unincorporated county land to the north (see Figure 1.3-1).

1.4 LOCAL SETTING

The Planning Area for the General Plan contains the existing City limits, the City's current sphere-of-influence, and additional unincorporated lands that have a direct impact and link to the City. The total Planning Area covers approximately 41.5 square miles as shown on Figure 1.3-1. Of this area, 20.0 square miles are currently within the City limits of Indio. The 1992 population for the City of Indio was 40,378.

GOALS & POLICIES REPORT

When most people think of a General Plan, they think of the land use diagram and designations, the circulation diagram, and the goals, policies, and implementations that will be used to guide the future actions of the City. Within the Indio General Plan, all of these items have been incorporated into a single document called the GPR.

As stated in the California General Plan Guidelines, a city's general plan is mandated to include the following seven elements:

- ▶ Land Use
- ▶ Circulation
- ▶ Housing
- ▶ Conservation
- ▶ Open Space
- ▶ Noise
- ▶ Safety

2.1 CONSOLIDATED GENERAL PLAN

While the state guidelines specify what should be contained in a general plan, they leave the format of the document to the local jurisdiction. This formatting flexibility includes the combination and reorganization of the seven mandatory elements.

Indio's new General Plan has been formatted as a "consolidated" General Plan document. The term "consolidated" has two meanings in this document. The first was mentioned earlier – the document has been organized to avoid duplication of information. The second, which is relevant to this discussion, is that the seven elements mandated for inclusion by the state have been arranged into four consolidated elements.

The consolidated design has several advantages for the City. First, it makes the General Plan easier to use and reduces the repetitive nature typical of many general plans. Topic areas that are related to each other are combined into a single element. The following are provided as examples of this concept:

- ▶ Vehicular and pedestrian circulation and land use are closely linked to each other, and for Indio's General Plan, they have been combined into the Community Development Element.
- ▶ The state-required circulation element covers not only vehicular traffic, public transit, and pedestrian/bike trails, but it also covers the transportation of fuels, natural gas, water, and sewer through pipelines. Indio's General Plan has put these items within the Community Development Element, but has separated this information into two subelements: one covers vehicles, public transit, and trails (Circulation subelement), and another covers all infrastructure (Infrastructure subelement).
- ▶ The state-required noise and safety elements have common missions to ensure the health, safety, and welfare of individuals. In Indio's General Plan, these two items have been combined into a single Public Health and Safety Element. This organization is very logical and easy to use.

The second reason for consolidation is ease of maintenance. By combining related topics into a single element, City staff have an easier time keeping the General Plan up-to-date.

Third, this design is easier to implement. Because related topics are combined into a single element, staff and other users will have an easier time finding and using the goals and policies within the General Plan, thereby increasing the ability of the City to implement its plan.

Table 2.1-1 provides a listing of the four elements and their associated subelements. This table also gives the section numbers for these elements used in the linked General Plan documents (indicated by a ■ in Section 1.2). The following paragraphs further discuss the contents of each element and their relation to state requirements.

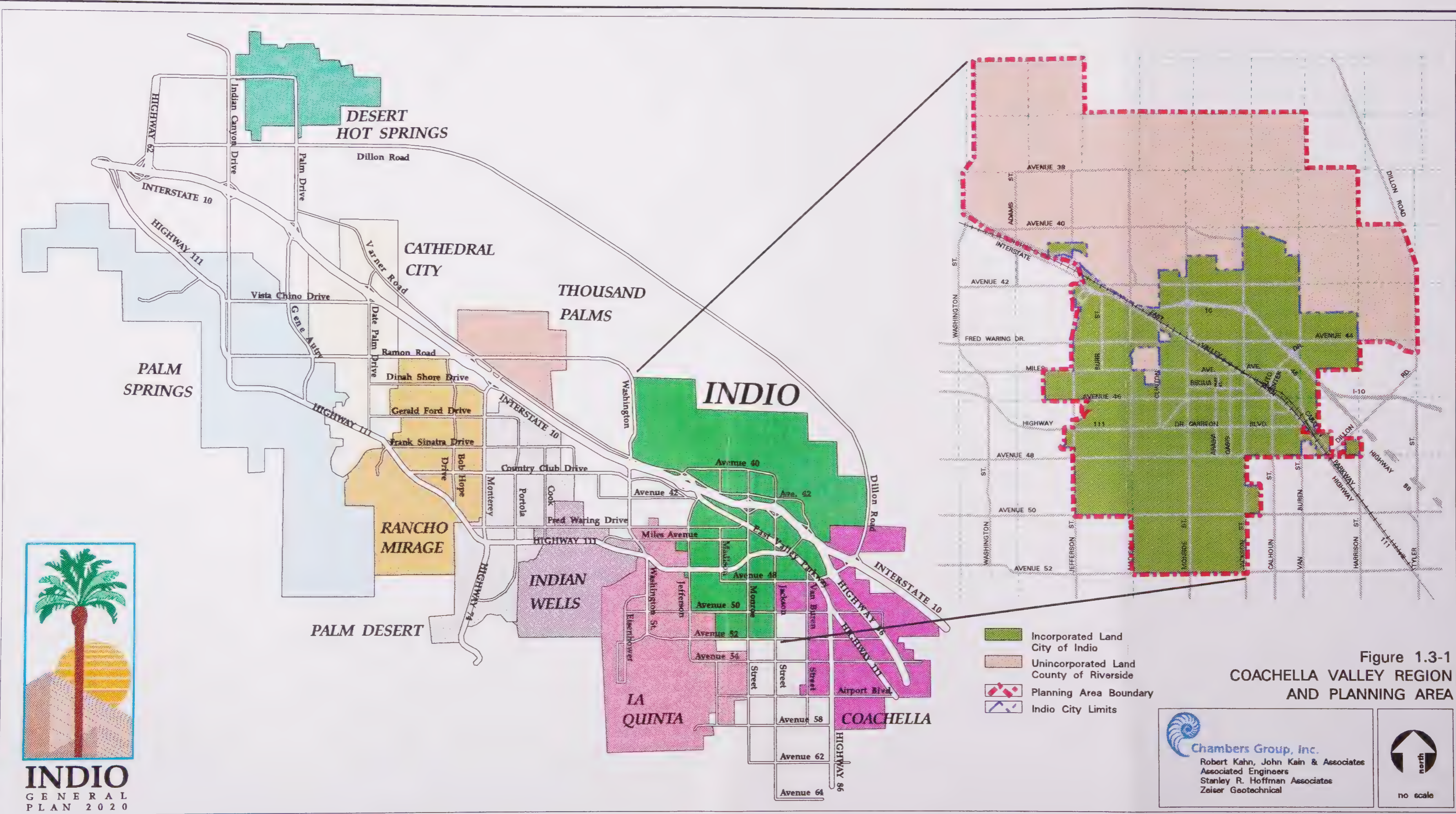


Table 2.1-1

GENERAL PLAN ELEMENTS AND SUBELEMENTS
(With Document Section Numbers)

3. COMMUNITY DEVELOPMENT ELEMENT

- 3.1 Land Use
- 3.2 Circulation
- 3.3 Infrastructure
 - ▶ Domestic Water
 - ▶ Wastewater Collection and Treatment
 - ▶ Flood Control/Drainage
 - ▶ Solid Waste
 - ▶ Electricity
 - ▶ Natural Gas/Petroleum Transmission
 - ▶ Telephone
 - ▶ Cable Television
 - ▶ Other Communications
- 3.4 Community Services
 - ▶ Schools
 - ▶ Health Care Services
 - ▶ Parks and Recreation
 - ▶ Libraries
- 3.5 Community Design
- 3.6 Economic Development
- 3.7 Government

4. ENVIRONMENTAL RESOURCES

- 4.1 Open Space
- 4.2 Soils
- 4.3 Agricultural Resources
- 4.4 Water Resources
- 4.5 Biological Resources
- 4.6 Energy Conservation
- 4.7 Mineral Resources
- 4.8 Cultural Resources

5. PUBLIC HEALTH AND SAFETY

- 5.1 Noise
- 5.2 Air Quality
- 5.3 Police and Fire Services
- 5.4 Emergency Preparedness
- 5.5 Hazardous Materials
- 5.6 Geology and Seismicity
- 5.7 Flood Hazards
- 5.8 Airports

6. HOUSING

GOALS & POLICIES REPORT

Community Development Element. This element combines all the topic areas that are related to the physical growth of the community. Starting with the existing conditions information in the ESR and the community aspirations collected from the CIR, a General Plan Land Use Diagram and designations were prepared for the Planning Area. This future development plan was then used to prepare goals and policies aimed at implementing this plan while maintaining the quality of life desired by the community. This element covers the state-mandated land use and circulation elements (movement of people/goods as well as infrastructure).

Environmental Resources Element. The protection of the natural environment is also important to the City of Indio. In order to preserve, protect, and enhance significant environmental resources, all issues related to the natural environment or its use (i.e., mining and agriculture) have been combined into this element. This element includes issues covered by the state-mandated conservation and open space elements.

Public Health and Safety Element. As with most communities, the City's primary mission is the protection of the public health, safety, and welfare. The Public Health and Safety Element was designed to encompass all aspects of the public's health and safety into a single element. This element combines the state-mandated noise and safety elements.

Housing Element. The City of Indio desires to achieve a balanced housing stock within the community. This means providing housing for all income levels in the community. This also includes providing a range of housing types, including single-family homes, multifamily residential, mobile homes, and seasonal residential opportunities. This also means looking at the City's responsibilities to provide assistance to those unable to obtain adequate housing.

The State of California mandates that every community shall adopt and implement a housing element. Unlike other required elements of a general plan, the housing element is required to be updated every 5 years, and each city must evaluate the success of its old element in achieving its stated goals and policies. Because of the special timing and review procedures associated with the housing element, the state does not recommend that this

element be consolidated with other elements or subelements.

2.2 LAND USE PLAN

Because this summary document will most likely have the widest circulation of any of the General Plan documents, it is important that it contain a discussion of the three most frequently asked questions:

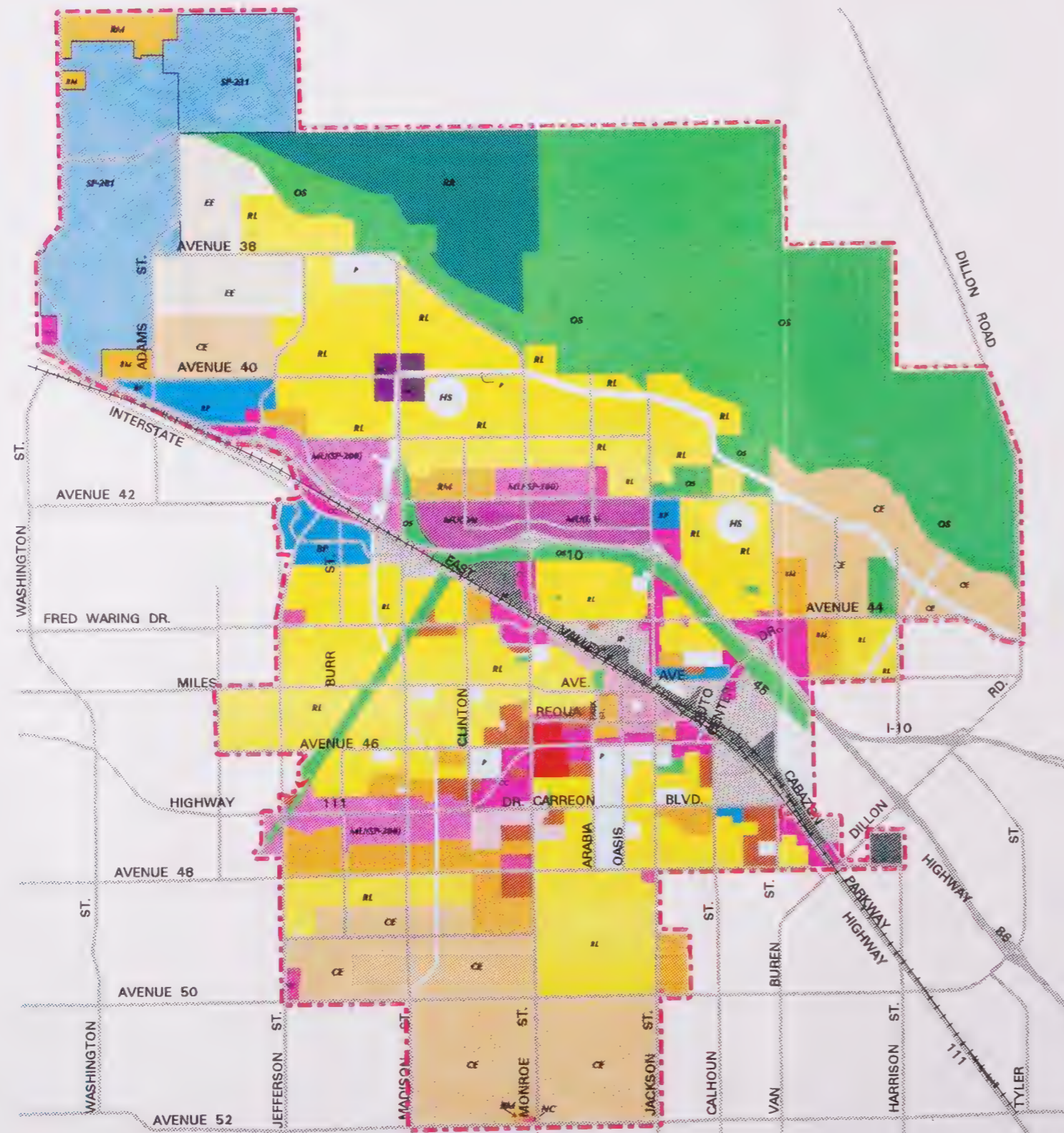
- ▶ *What can I do with my property?*
- ▶ *What can they do with the vacant property next to me?*
 - and -
- ▶ *What are the roadway designations in my area?*

The answers to the last question are included in Section 2.3. In response to the first two questions, a summary of the land use subelement has been prepared. Figure 2.2-1 shows the Draft General Plan Land Use Diagram for the Planning Area. In addition to the land use designations shown on the Land Use Diagram, many of the larger, undeveloped portions of the Planning Area have overlay designations called Residential Planned Development overlays, or RPD for short. These designations require the preparation of a specific plan for the RPD prior to development. The reasons for these RPDs are to provide a tool to allow additional flexibility in housing types and obtain cohesive neighborhood designs and approaches to infrastructure in areas that are today primarily undeveloped. In addition to the RPD overlays, four other overlay types are presented. These include the Mobile Home/Recreational Vehicle, Commercial Planned Development (CPD), Manufacturing Planned Development (MPD), and Medical Services (MS) overlays. Figure 2.2-2 shows the locations of all overlay designations.

Following these figures is Table 2.2-1, which contains a summary of the land use designations used in the General Plan. This above information is a brief overview of the land use subelement.



INDIO
GENERAL
PLAN 2020



Land Use Designations

- RESIDENTIAL**
 - Equestrian Estates EE
 - Country Estates CE
 - Low Density Residential RL
 - Medium Density Residential RM
 - High Density Residential RH
- COMMERCIAL**
 - Neighborhood Commercial NC
 - Community Commercial CC
 - Downtown Commerce DC
 - Regional Commercial RC
 - Commercial Office CO
- INDUSTRIAL**
 - Business Park BP
 - Industrial Park IP
 - Manufacturing M
- MIXED USE**
 - Mixed Use MU(DA)
 - Mixed Use MU(SP)
 - Village Core VC
- PUBLIC**
 - Public P
 - High School Site (Approx) HS
- OPEN SPACE**
 - Open Space OS
 - Resource Recovery RR
- SPECIFIC PLAN**
 - Specific Plan Areas SP

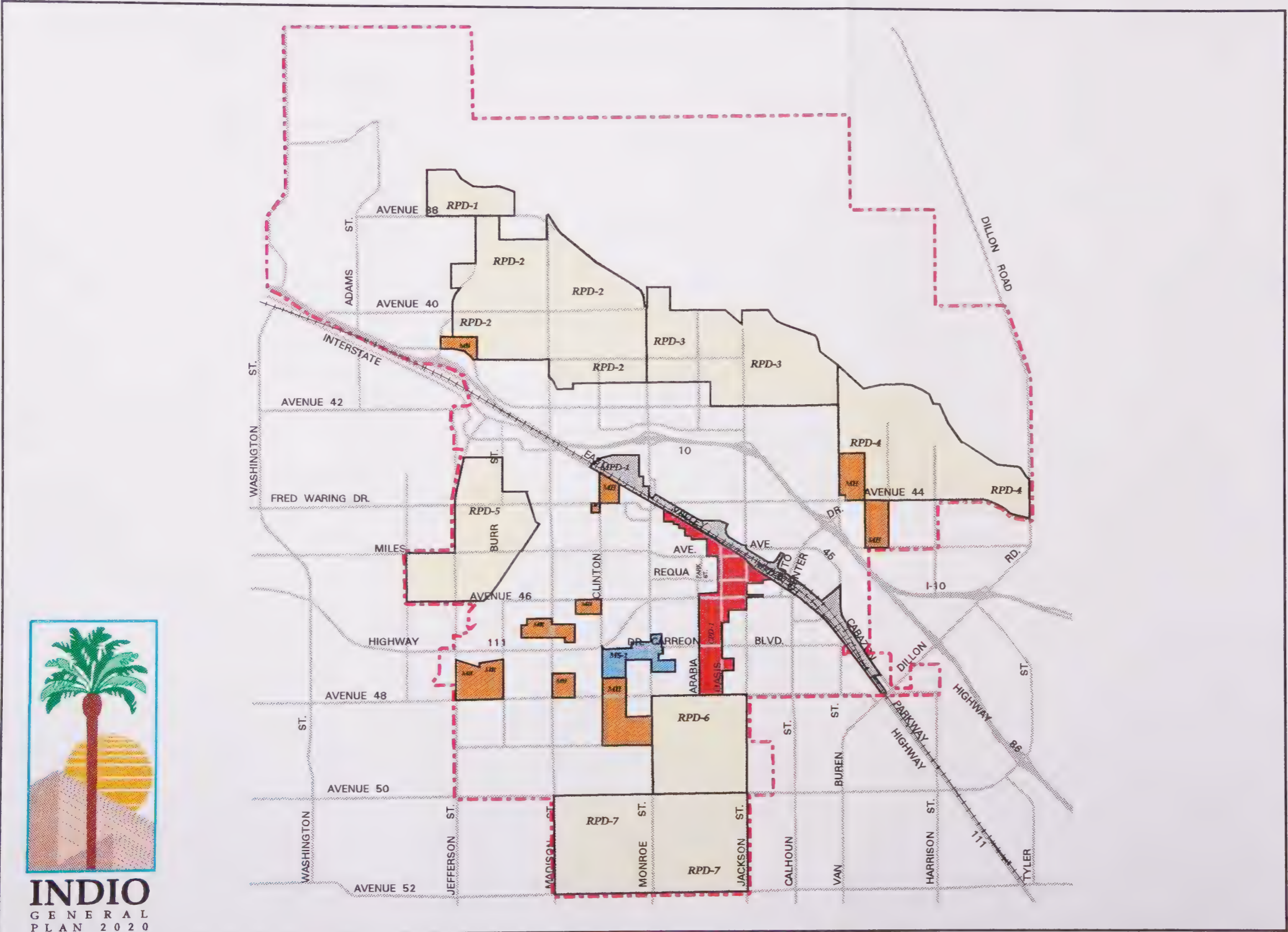
Figure 2.2-1
INDIO GENERAL PLAN
LAND USE DIAGRAM



Chambers Group, Inc.
Robert Kahn, John Kain & Associates
Associated Engineers
Stanley R. Hoffman Associates
Zeiser Geotechnical



1" = 6000'



Land Use Overlays

- RPD
Residential Planned Dev.
- MH
Mobile Home/RV Park
- CPD
Commercial Planned Dev.
- MS
Medical Services
- MPD
Manufacturing Planned Dev.

Figure 2.2-2
INDIO GENERAL PLAN
LAND USE OVERLAYS


 Chambers Group, Inc.
Robert Kahn, John Kain & Associates
Associated Engineers
Stanley R. Hoffman Associates
Zeiser Geotechnical



Table 2.2-1

SUMMARY OF GENERAL PLAN LAND USE DESIGNATIONS

Character/Permitted Uses	Units Per Acre Minimum Lot Size(sqft) ¹			
	Not in an RPD		In an RPD	
	Thres.	Max.	Thres.	Max.
EE Equestrian Estates The EE designation is intended to provide for the development of large lot estates and ranchettes. Homes developed in this designation will be allowed to keep horses and other large animals. Allowed uses in this designation include single family detached residences. If an area designated EE is in an RPD overlay, developments in that area may include any use allowed in the RL designation (Policy LU-1.6) in addition to those allowed under this designation.	0 - 2.0 20,000	2.0 20,000	0 - 2.0 n/a	20. n/a
CE County Estates The CE designation is intended to encourage a range of large lot residential estates and equestrian oriented facilities. Land uses allowed in this designation include single-family detached residences. If an area designated CE is in an RPD overlay, developments in that area may include any use allowed in the RL and RM designations (Policies LU-1.6 and LU-1.7, respectively) in addition to those allowed under this designation.	0 - 3.0 10,000	3.0 10,000	0 - 3.0 n/a	3.5 n/a
RL Residential Low The RL designation promotes single family residential development and variations in housing opportunities throughout the Planning Area. Within this designation single-family detached residential units are allowed. If an area designated RL is in an RPD overlay, developments in that area may include any use allowed in the RM designation (Policy LU-1.7) in addition to those allowed under this designation.	3.5 8,000	4.0 7,200	3.5 n/a	5.0 n/a
RM Residential Medium The Residential Medium designation allows for a range of detached and attached single-family units and low intensity multifamily residential units. This designation encourages greater housing diversity and acts as a transition zone between low density developments and higher density multifamily projects. Uses allowed in this designation include detached and attached single-family units, and low density multifamily housing units. Unit types may include detached single-family, attached cluster units (including zero lot line developments, zipper lot configurations), duplexes, triplexes, fourplexes, townhomes, and stacked flats.	6.0 n/a	8.0 n/a	6.0 n/a	10.0 n/a
RH Residential High The Residential High designation allows multi-family developments of apartments, condominiums, and single-family attached units. Allowed uses in this designation include Townhomes, stacked flats, apartments, multistory senior housing.	10.0 n/a	20.0 n/a	10.0 n/a	20.0 n/a
Thres. = Threshold density Max. = Maximum density sq ft = Square feet n/a = Not applicable				

Table 2.2-1

SUMMARY OF GENERAL PLAN LAND USE DESIGNATIONS

Character/Permitted Uses	Maximum Intensity ¹
<p>NC Neighborhood Commercial</p> <p>The NC designation provides for convenient small scale shopping and personal service uses in close proximity to residential neighborhoods. It is important for this designation to be located within walking distance to most of the residential neighborhoods it serves. Uses allowed in this designation include: small shopping centers, local convenience markets, office uses, pharmacies, dry cleaners, barber shops, restaurants (excluding drive-thrus), and related activities.</p>	<p>Maximum lot coverage of 30 percent. A 10 acre minimum development/site is required.</p>
<p>CC Community Commercial</p> <p>The Community Commercial designation is intended to provide for general merchandising and retailing establishments that serve the needs of the residents of Indio. The range of services and merchandise will be greater than those found in neighborhood centers, and the service areas will be City-wide compared to neighborhood oriented. Land uses allowed in the CC designation include: shopping centers with a major anchor(s) such as a grocery, drug, or variety store; commercial entertainment such as movie theaters and bowling alleys; restaurants; banks; office uses; health clubs; auto related uses including service stations and auto repair/service; hotels and motels; conference/ convention facilities; convenience commercial centers; commercial uses requiring outside storage or display; new and used auto, truck, mobile home, recreational vehicle, and boat sales.</p>	<p>Maximum lot coverage is 30 percent. No minimum development/site size is required.</p>
<p>RC Regional Commercial</p> <p>The RC designation is intended to provide for the development of large, full service retail and commercial center that will serve residents of Indio and the population in the eastern portion of the Coachella Valley. Within the RC designation, the following land uses are allowed: major shopping centers with several department stores, variety stores, food stores, professional office and financial institutions, community facilities, commercial entertainment (theaters, miniature golf, water park, batting cages, arcades), convention/ visitor center, hotels and motels, restaurants, auto related uses including service stations and light auto repair, public or private college/university.</p> <p>RC developments should form master planned commercial areas that utilize shared parking and access, common design theme and signage plan and create a sense of place.</p>	<p>Maximum lot coverage is 40 percent. A 20 acre minimum development/site size is required.</p>
<p>DC Downtown Commerce</p> <p>It is the intent of the DC designation to provide a wide range of allowed land use types, reduce the number of conditional use approvals needed, and provide a set of on-site improvement requirements that are more in line with the character and needs of the downtown area. The objective of this designation is to revitalize the City's downtown area by encouraging full utilization in the short-term, and active reinvestment in the long-term. Uses allowed in this designation include any use allowed in the NC (Policy LU-3.1) and CC (Policy LU-3.2) designations. Other allowed uses include light industrial uses that have no outdoor storage. The following may also be allowed, subject to additional review/restrictions: street vendors, open air markets, and swap meets or similar uses that rent spaces to individual retailers within a single structure on site.</p>	<p>No maximum lot coverage standard. No maximum development/site size.</p>

Table 2.2-1

SUMMARY OF GENERAL PLAN LAND USE DESIGNATIONS

Character/Permitted Uses	Maximum Intensity ¹
<p>CO Commercial Office</p> <p>The CO designation promotes the development of professional offices and directly related commercial services. The primary land use within this designation is office uses. Commercial is allowed as a component as long as the commercial entity is designed to serve primarily on-site office uses. Land uses allowed in the CO designation include administrative and corporate offices, medical suites, real estate offices, financial and insurance services, law offices, medical offices and clinics, government offices, other professional offices.</p>	<p>Maximum lot coverage is 40 percent. No minimum development/site size.</p>
<p>BP Business Park</p> <p>The BP designation is intended to foster the development of professional office, light industrial, research and development, and support commercial uses within a master-planned environment. Where possible, a business park use should be designed in a campus setting, clustering buildings around a common pedestrian space. Allowed uses in the BP designation include administrative and professional offices, financial institutions, hotel and convention uses, research and development facilities, light industrial (no outside storage), light industrial uses with limited retail activities, health and sports clubs, restaurants (excluding drive-thrus), business-oriented commercial, other retail and support commercial uses where it can be demonstrated that said commercial and/or retail activities are in close proximity to employment centers they seek to serve. An auto mall and related auto serving uses may also be allowed subject to the approval of a master plan for the project.</p>	<p>Maximum lot coverage of 40 percent. A 15-acre minimum development/site size is required.</p>
<p>IP Industrial Park</p> <p>The IP designation is intended to permit more intensive types of industrial operations. This designation forecasts a master-planned industrial park where land uses are carefully located with respect to other uses, and where streets, setbacks, screening, landscaping, and activities such as outside storage occur within an overall concept. Allowed uses in the IP designation include light industrial uses (outside storage allowed if screened from public right-of-way), administrative offices, distribution and trucking uses, assembly and other similar industrial uses.</p>	<p>Maximum lot coverage of 50 percent. A 15-acre minimum development/site size is required.</p>
<p>M Manufacturing</p> <p>This designation permits the most intensive manufacturing activities within the General Plan. It is intended to allow for basic manufacturing activities, as well as ancillary uses to permitted manufacturing uses. Railroad related loading and distribution activities, storage of component parts, assembly and manufacturing of parts for product creation, fabrication, warehousing, batch plants, and activities related to the distribution of manufactured goods and products are allowed in this designation.</p>	<p>No maximum lot coverage requirement. No minimum development size.</p>
<p>P Public</p> <p>This designation provides for a variety of public and quasi-public facilities which support the community and are operated by governmental agencies, utility providers, or non-profit organizations.</p>	<p>Intensity of the use will be determined on a case-by-case basis.</p>

Table 2.2-1

SUMMARY OF GENERAL PLAN LAND USE DESIGNATIONS

Character/Permitted Uses	Maximum Intensity ¹
<p>OS Open Space</p> <p>The OS designation provides for the protection and preservation of sensitive environments, such as areas with threatened or endangered plant and wildlife species habitat, scenic resources, areas with significant topographic constraints, scenic viewsheds, and areas posing a threat to public safety. Limited single family residential uses may also be allowed in this designation, provided the structure or roadways are not sited on ridgelines or are visually impacting on viewsheds within the Planning Area. Recreation areas, both public and private, are also included in this category. Other allowed uses in this designation include parks, maintenance buildings and storage facilities, restrooms, playground equipment, picnic tables and benches, recreation centers, equestrian facilities, camping areas, public pools, polo fields, lakes and other related facilities.</p>	<p>Single family residential is allowed at a density of up to 1 unit per 20 acres depending on site constraints. The intensity of non-residential facilities will be determined on a case-by-case basis.</p>
<p>RR Resource Recovery</p> <p>This designation is intended to apply to land where recovery and/or reclamation activities are primary land uses. Sand and gravel extraction activities are anticipated to be major land uses. All uses in the RR designation will require the approval of a Conditional Use Permit (CUP) and mining and reclamation plan. Conditionally allowed uses include mining, sand or gravel extraction, and similar natural resource recovery uses. With an approved mining operation, additional uses may be allowed. These include batch plants, asphalt plants, and other secondary processing of raw materials.</p>	<p>Intensity of the use will be determined on a case-by-case basis.</p>
<p>VC Village Core</p> <p>The Village Core designation is intended to contain a mix of residential, commercial and recreational activities, and serve as the focal point for an RPD area. An area designated as Village Core should contain at least 40 acres of land, and contain one neighborhood commercial center, one community level park or sports center, and a mix of RM and RH residential land uses. These areas are intended to supply the immediate commercial needs of the surrounding residential communities, reducing the demand for commercial centers within the surrounding areas which will be primarily residential in nature. The residential component can contain any uses allowed in the RM and RH designations (Policies LU-1.7 and LU-1.8 respectively). The commercial component can contain any uses allowed by the NC designation (Policy LU-3.1). In this designation, the residential and commercial developments can be mixed within a single development, including residential units over commercial units.</p>	<p>Residential intensity shall be the same as allowed under the RM and RH designations (Policies LU-1.7 and LU-1.8 respectively). The commercial intensity shall comply with that specified for the NC designation (Policy LU-3.1).</p>
<p>MU(DA) Mixed Use, Development Agreement</p> <p>The Mixed Use, Development Agreement MU(DA) designation is designed to recognize existing mixed use projects that were approved by the City prior to the adoption of the updated General Plan, and to use these approvals as a framework for design of a larger mixed use development area.</p>	<p>The intensity for all uses in this designation shall be the same as those specified in guiding Development Agreement.</p>

Table 2.2-1

SUMMARY OF GENERAL PLAN LAND USE DESIGNATIONS

Character/Permitted Uses	Maximum Intensity ¹
<p>MU(SP) Mixed Use, Specific Plan</p> <p>The Mixed Use, Specific Plan MU(SP) designation is intended to allow for a mix of residential and commercial land uses. This designation will be used to allow persons to live close to employment opportunities, and to provide for a transition from higher intensity commercial uses to more traditional residential developments. The residential component of this designation can contain any uses allowed in the RM and RH designations (Policies LU-1.7 and LU-1.8, respectively). The commercial component may contain uses allowed by the NC, CC, RC, or CO designations (Policies LU-3.1, LU-3.2, LU-3.3, and LU-3.5, respectively). In this designation, the various land uses can be intermixed within a single development, including residential units over commercial units, or can be planned as separate components within a single project.</p>	<p>Residential intensity (density) shall be the same as allowed under the RM and RH designations (Policies LU-1.7 and LU-1.8, respectively). The commercial intensity shall comply with that specified for the NC, CC, RC, and CO designations (Policies LU-3.1, LU-3.2, LU-3.3, and LU-3.5, respectively).</p>
<p>SP Specific Plan</p> <p>The SP designation is intended for those areas which, because of their location or proposed land uses, require special design consideration and flexibility in the development of the property. These areas require additional site analysis and overall planning to address the constraints, opportunities, and features of each site. It is intended that a specific plan designation will allow more flexibility in design and composition that will blend several different land use types into a single project.</p>	<p>As specified in the approved specific plan.</p>
<p>This designation is also to be used for existing projects approved by the County of Riverside in the unincorporated portions of the Planning Area. These areas are designated on the General Plan Land Use Diagram as SP-#, where the "#" is replaced by the number assigned by the County. As the City approves specific plans under this designation, they will also be shown in the SP-# format. For existing County approved specific plans, the land uses allowed will reflect the uses approved with the specific plan.</p>	
<p>¹ All required site development standards, including but not limited to, setback, onsite landscaping, fire safety requirements, off-street parking and loading, screening of storage areas, and other site design requirements shall be maintained by each development proposed. These and other physical constraints may affect a project's ability to reach the threshold or maximum densities/intensities described in the table.</p>	

The above information is provided as an overview of the land use subelement and the goals, policies, and implementations that it contains. For specific information on the determination of density, the application of overlay designations, or other specific questions, consult the GPR.

2.3 CIRCULATION PLAN

In Section 2.2, a commonly asked question concerned the designation of roadways in the Planning Area. In response to this, two diagrams have been included in this General Plan summary. The first diagram is the Indio General Plan Circulation Diagram (see Figure 2.3-1). This diagram shows all of the General Plan level roadways (those classified as a collector-level roadway and larger) in the Planning Area. Following this diagram, Figure 2.3-2 presents the roadway cross sections that will be used to implement the circulation plan.



INDIO
GENERAL
PLAN 2020

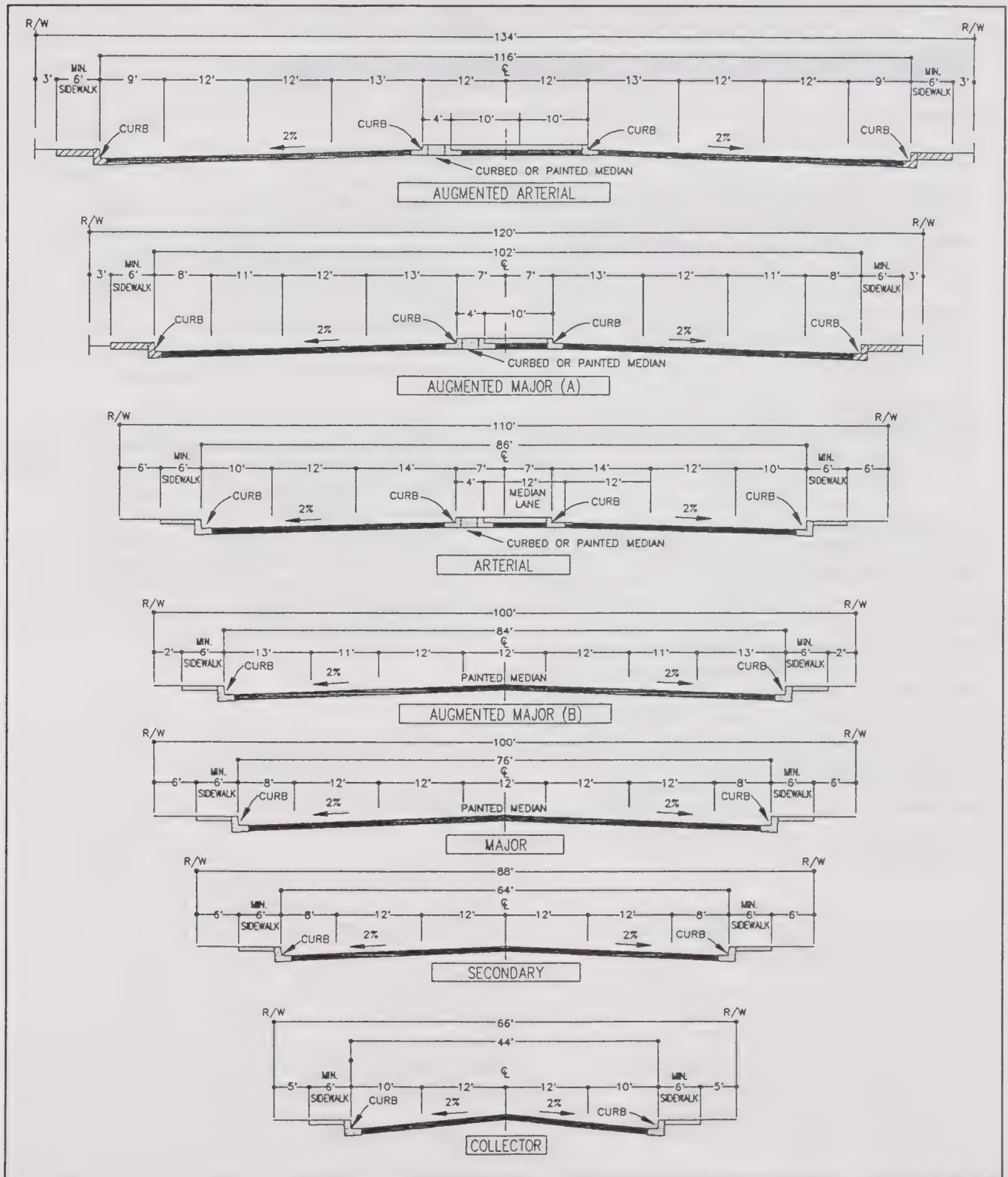


Figure 2.3-2
GENERAL PLAN ROADWAY CROSS SECTIONS

ENVIRONMENTAL SETTING REPORT

In order to plan for Indio's future and to understand the potential impacts that may result from this change, all parties involved in the General Plan needed to fully understand the condition of Indio today. Because the General Plan was to cover a comprehensive set of issue areas, the ESR needed to be equally comprehensive in its evaluation of existing conditions.

The ESR is therefore designed to provide the reader with a detailed overview of the existing conditions within the Planning Area prior to adoption of the new General Plan.

It is difficult to summarize the ESR because of the comprehensive nature of the document and the amount of material covered. It is possible, though, to provide an overview of the major opportunities and constraints that were identified during the formulation of the CIR and the Alternatives Report. [Note: The Alternatives Report documented the first set of land use alternatives considered by the City prior to development of the Draft General Plan. This document does not reflect the current Draft General Plan Land Use Diagram or alternatives, and therefore is not included in the General Plan document set. It is available from the City if the reader wishes to review the General Plan's development.]

During the initial community interviews and workshops, the City was divided into nine subareas to ensure that opinions were obtained not only for the City at large, but also from the smaller geographic areas that make up the Planning Area. Table 3.1-1 provides a summary of the opportunities and challenges that were identified for the Planning Area and the nine planning subareas.

During the formation of the opportunities and challenges, it became obvious that some challenges that the City faced were also opportunities and visa-versa. For example, the steep slopes in the northern section of the Shadow Hills planning subarea is a constraint for development, but it is also an important opportunity because these hills form the edge of the Planning Area and provide a beautiful amenity for Indio. These dual role items are noted with a star (★) in Table 3.1-1.

Table 3.1-1

SUMMARY OF CHALLENGES AND OPPORTUNITIES

AREA	CHALLENGES	OPPORTUNITIES
PLANNING AREA WIDE	<ul style="list-style-type: none"> ★ Prime agricultural lands ★ The All-American canal ★ The Coachella Valley Stormwater Channel ▶ Drainage/flood hazards ▶ Liquefaction zone ▶ Image ▶ Housing types 	<ul style="list-style-type: none"> ★ Prime agricultural lands ★ The All-American canal ★ The Coachella Valley Stormwater Channel ▶ Affordable housing ▶ Large labor force ▶ Climate ▶ Enterprise zone ▶ Transportation hub for rail, I-10, Highway 111, and bus transit ▶ Hub of East Coachella Valley ▶ Historic hub of entire Coachella Valley
SHADOW HILLS	<ul style="list-style-type: none"> ★ Topographic features in north ★ Sensitive plants and animals ▶ Geologic hazards (fault lines, liquefaction) ▶ Lack of major infrastructure ▶ Regional utility corridors for gas and electric in north Shadow Hills 	<ul style="list-style-type: none"> ★ Natural beauty to north ★ Sensitive plants and animals ▶ Very good freeway access ▶ High visibility from freeway ▶ Large land holdings offer possibility for master planned communities ▶ Opportunities for educational facilities
NORTH INDIO	<ul style="list-style-type: none"> ▶ Noise from railroad on the south and the I-10 Freeway on the north 	<ul style="list-style-type: none"> ▶ Unimproved industrial land adjacent to the railroad ▶ Easy access to railroad, freeway, and local transportation ▶ Enterprise zone ▶ Mass transit corridor
EAST VALLEY PARKWAY CORRIDOR	<ul style="list-style-type: none"> ★ Heavy truck traffic and truck services ▶ Blighted motel uses ▶ High noise from railroad and roadway ▶ Roadway cross-section incomplete in many areas 	<ul style="list-style-type: none"> ★ Heavy truck traffic and truck services ▶ Roadway well traveled, offering good exposure ▶ Freeway access at Jefferson
DOWNTOWN	<ul style="list-style-type: none"> ▶ Blighted areas with abandoned buildings in various states of disrepair ▶ Lack of upkeep ▶ Structural integrity of buildings 	<ul style="list-style-type: none"> ▶ Historic center of City and Coachella Valley ▶ Viable commercial core ▶ Inexpensive land ▶ Potential for a unique and distinctive theme ▶ City government center and library ▶ Connection to County Center ▶ Large park and museum
WESTSIDE	<ul style="list-style-type: none"> ▶ Portions of the area within the Bermuda Dunes Airport Approach Zone ▶ Portion of area under County jurisdiction 	<ul style="list-style-type: none"> ▶ Moderately priced, good quality housing available ▶ Large parcels of undeveloped land ▶ New recreation center

Table 3.1-1

SUMMARY OF CHALLENGES AND OPPORTUNITIES

AREA	CHALLENGES	OPPORTUNITIES
HIGHWAY 111 CORRIDOR	<ul style="list-style-type: none"> ▶ Small, narrow parcels fronting on Highway 111 ▶ Poor intersection design in some locations ▶ Fashion Mall has poor access ▶ Limited outdoor display areas for auto dealers ▶ Lack of signage controls ▶ Lack of landscaping ▶ No unifying theme 	<ul style="list-style-type: none"> ▶ Strategic location ▶ Good visibility ▶ Transit corridor ▶ Auto and regional malls ▶ Access to County buildings ▶ Gateway to Indio ▶ Availability of large parcels on west end ▶ Portion of area within the Enterprise Zone
COUNTY CENTER	<ul style="list-style-type: none"> ▶ Nontaxable land base ▶ Outside of City's jurisdiction and control ▶ Lack of unified design; could achieve a campus setting 	<ul style="list-style-type: none"> ▶ Large employment base ▶ Secondary employment and commercial sales generation ▶ Opportunity to connect to City's Civic Center ▶ The ExpoCenter is underutilized ▶ Good access to Highway 111 ▶ Transportation hub ▶ Attraction to bring people into and through Indio
SOUTH INDIO	<ul style="list-style-type: none"> ▶ Level terrain, limited view corridors ▶ Long distance to freeway ▶ No commercial centers within the area 	<ul style="list-style-type: none"> ▶ JFK Hospital ▶ Residential diversity ▶ Good circulation pattern ▶ Large parcels of undeveloped land ▶ Adjacent to polo grounds and PGA West
INDIO RANCHOS	<ul style="list-style-type: none"> ▶ Lack of schools ▶ No neighborhood commercial centers nearby ▶ Major infrastructure needed in area 	<ul style="list-style-type: none"> ▶ Polo grounds ▶ Areas for equestrian/large lot estates ▶ Potential for planned residential/recreational developments and custom homes ▶ Linkage to County trail system ▶ Mountain views ▶ Access to Lake Cahuilla County Park

Items designated with a star (★) are felt to be both an opportunity and a challenge.

COMMUNITY ISSUES REPORT

During preparation of the General Plan, numerous interviews and community meetings were held in the City to solicit input from residents, business and industry, agency and utility staff and directors, City staff, land owners, and other interested individuals at each step of its development. Input from these groups were obtained in several ways, including

- ▶ group and individual interviews with community leaders, including the City Council and Planning Commission;
- ▶ interviews with City staff and agency staffs;
- ▶ workshops open to the general public; and
- ▶ weekly "drop-in" office hours where the planning consultant met with anyone having concerns or questions regarding the upcoming General Plan. These were held at City Hall for a 2-month period.

Although public participation has taken place throughout preparation of the General Plan, a large portion of this public involvement was targeted at soliciting input early in the General Plan process. This information was then used to develop the CIR. During interviews and workshops in this phase, participants were asked two key questions designed to solicit their input about the shape of Indio's future. These questions were as follows.

1. If moving into a new region, describe what factors you would consider in choosing a city in which to move?
2. Using the list you just developed, how would you compare Indio to the criteria you outlined earlier?

From these questions, the groups being interviewed often developed a list of "pros" and "cons" for Indio as it related to their expectations. The CIR was then prepared based on the responses.

In the CIR, the responses were organized by General Plan subelement (such as land use). For each subelement, the following information was presented:

- ▶ what is desired in a city,
- ▶ what assets does Indio possess in this topic area, and
- ▶ what issues face the community under this topic.

For the last item, issues were further divided by whom provided the input: the public (including the City Councilpersons and Planning Commissioners), City staff, and technical issues raised by the General Plan consultant.

The information discussed in the CIR was extremely valuable in preparing a General Plan that was targeted at meeting the needs and desires of those living and working in the community, and this document should be reviewed to get a better understanding of the resulting plan. As a brief summary, Table 4.1-1 provides a review of the major issues raised during this phase of the General Plan's preparation.

Table 4.1-1

SUMMARY OF COMMUNITY ISSUES

ISSUE AREA	TOPIC AREA	DISCUSSION
LAND USE	Commercial	<ul style="list-style-type: none"> ▶ Disperse commercial throughout the City ▶ More quality commercial desired in City ▶ Provide recreational commercial facilities (movie theaters, mini-golf, and so forth)
	Residential	<ul style="list-style-type: none"> ▶ Provide a variety of residential opportunities, including middle income, estates, gated communities, retirement, and equestrian
	Auto Mall	<ul style="list-style-type: none"> ▶ Evaluate moving auto mall to a new location
	Downtown	<ul style="list-style-type: none"> ▶ Develop a theme for the downtown area ▶ Relax land use controls in the downtown
CIRCULATION	Trails	<ul style="list-style-type: none"> ▶ Provide a full range of trails for biking, pedestrian, and equestrian usage
	Traffic	<ul style="list-style-type: none"> ▶ Provide, well maintained, quality roadways ▶ Provide ease of access to shopping areas
INFRASTRUCTURE	Infrastructure	<ul style="list-style-type: none"> ▶ Better maintenance for existing facilities ▶ Place utilities underground ▶ Services north of the freeway are critical ▶ Provide a Capital Improvement Program (CIP) for expansion and maintenance of services
COMMUNITY SERVICES	Recreation	<ul style="list-style-type: none"> ▶ Provide more recreational programs ▶ Provide more diverse types of recreation for all age groups, especially teens ▶ Provide more, bigger and better equipped parks
	Schools	<ul style="list-style-type: none"> ▶ City should cooperate with schools, co-location with parks ▶ Encourage developing a College of the Desert campus in Indio
COMMUNITY DESIGN	City Image	<ul style="list-style-type: none"> ▶ Too much bad press; City needs to work on better PR ▶ Increase graffiti removal program ▶ Demolish blighted buildings
	Standards	<ul style="list-style-type: none"> ▶ Stress architectural design ▶ Encourage creative tract layouts ▶ Establish a Design Review board - require quality development
	Themes	<ul style="list-style-type: none"> ▶ Indio needs a theme - What is Indio today?

Table 4.1-1

SUMMARY OF COMMUNITY ISSUES

ISSUE AREA	TOPIC AREA	DISCUSSION
ECONOMIC/ FISCAL	Tax Base	<ul style="list-style-type: none"> ▶ Attract revenue-generating business ▶ Become more competitive ▶ Train employment base ▶ Retain professionals in town, both work and residence
CULTURAL RESOURCES	Historic	<ul style="list-style-type: none"> ▶ Historic museum is underutilized as a resource ▶ Capitalize on historic aspects
EMERGENCY SERVICES	Police/Fire	<ul style="list-style-type: none"> ▶ More police and fire protection desired
HOUSING	Single Family	<ul style="list-style-type: none"> ▶ Greater diversity in housing types (mid-range, estates, gated communities, and so forth)
	Apartments	<ul style="list-style-type: none"> ▶ Too many apartments ▶ Apartments should have a higher level of amenities than those currently required
	Low Income	<ul style="list-style-type: none"> ▶ Many feel City has too many now, but recognize the demand for the future

ENVIRONMENTAL IMPACT REPORT

5.1 SUMMARY OF ENVIRONMENTAL IMPACTS

According to Government Code Section 15060(c) and 15063(a) of the CEQA, if a Lead Agency, the City of Indio, determines that an EIR will clearly be required for a project (the General Plan update), the agency may skip further initial review of the project and begin work directly on the EIR process. The City determined that a program EIR would be prepared to analyze impacts of implementing the proposed General Plan.

A Notice of Preparation (NOP) was prepared by the City and circulated to a range of agencies that have jurisdiction or discretionary powers over various aspects of the project. These agencies were requested to review the NOP and provide the City of Indio with a letter outlining their concerns with the proposed project. The comment period ran from April 12 through May 10, 1993. A copy of the NOP and the responses received are included in Appendix G of this document.

The purpose of the program EIR is to identify any significant environmental impacts associated with implementation of the General Plan and recommend mitigations that would either

- ▶ reduce the significant impacts to a level of not significant.
- ▶ mitigate the General Plan in order to avoid significant impacts.

A General Plan EIR is intended to examine the environmental impacts that result from buildout of the community and also the cumulative effects on the surrounding area. The proposed General Plan was designed so that the implementation measures contained in the goals and policies portion of the General Plan mitigate significant environmental impacts that may result from implementing the plan. Most environmental impacts could be mitigated to a

level of not significant; however, the proposed plan impacts on air quality and agricultural lands will remain significant.

5.2 IDENTIFICATION OF ISSUES TO BE ADDRESSED

A range of environmental issues was examined in accordance with the requirements of CEQA to determine if significant environmental impacts are likely to occur from implementation of the proposed project. When an issue was identified where potential significant impacts could occur, it was examined further in the EIR. With some issues, a determination could be made from the information available that significant environmental impacts would not occur and would not require further examination. In some cases, mitigation measures are added to further reduce potentially adverse but not significant impacts.

The NOP/Initial Study (NOP/IS) documents were used by the City in defining the scope of analysis that should be contained in this program EIR. This scope helped define the resource areas evaluated in the EIR to include the following:

- ▶ Earth resources;
- ▶ Air quality;
- ▶ Hydrology;
- ▶ Water supply and quality;
- ▶ Biological resources;
- ▶ Noise;
- ▶ Transportation/circulation;
- ▶ Land use;
- ▶ Population;
- ▶ Housing;
- ▶ Public services and utilities;
- ▶ Aesthetics, light, and glare;
- ▶ Recreation;
- ▶ Cultural resources.

To simplify the EIR organization, this portion of the General Plan was organized in the same manner as the ESR and GPR portions of the General Plan

document. For instance, geology was assessed in Section 5.6, soils in Section 4.2, and mineral resources in Section 4.7 in the ESR, goals and policies portion, and the EIR. The EIR is unique in that the elements of the proposed General Plan (the community development, environmental resources, public health and safety, and housing elements) are each analyzed for their impacts on the environment. In the case of public health and safety, impacts from health and safety issues, such as seismicity and hazardous materials, were analyzed for impacts on population and property that will result from implementation of the proposed plan.

In order to determine if a significant adverse impact would exist, a set of significance criteria was created for each of the resources. These criteria make it easy for the reader to understand the logic of determining significance as well as assist the analysts in their determinations. With these criteria available, a series of field evaluations, modeling, and analytical techniques were completed in order to determine the possible effects of the proposed project. A suggested set of significance criteria was also prepared for the City.

The results of this analysis are summarized in Table 5.1-1 at the end of this section. This table provides a summary of the environmental impacts and mitigation measures that would occur with implementation of the proposed project. Indication is also made as to the residual effect (or impact significance) after mitigation. Further information on any topic discussed in the summary can be found under the appropriate resource area of the EIR.

5.2.1 Unavoidable Significant Adverse Impacts

The following unavoidable significant adverse impacts were identified:

- **Air Quality.** The City of Indio is located in the South Coast Air Basin, which is out of attainment for both federal and state limitations for ozone and carbon monoxide and the state particulate standards. Implementation of the goals and policies of the air quality section of the proposed General Plan will reduce air emission impacts. However, when considered on a regional basis Nitrogen Dioxide (NO₂), reactive

organic gases (ROG), and PM₁₀ emissions are expected to remain significant.

- **Agricultural Resources.** Implementation of the proposed General Plan will result in the eventual elimination of prime agricultural lands within the Planning Area. Loss of prime agricultural lands is considered significant and cannot be fully mitigated. Impacts to prime agricultural lands remain adverse and significant.

It has been determined that these impacts cannot be mitigated to a level of not significant. Prior to approval of the General Plan, the agency (City of Indio) must prepare a "Statement of Overriding Considerations," which states that the decision-making body has balanced the benefits of the proposed project against its unavoidable significant environmental effects and has considered the adverse effects to be acceptable.

5.2.2 Significant Adverse Impacts That Can Be Mitigated To Not Significant

These suggested significance criteria could be used by the City when determining significance impacts of a proposed project in the future. The suggested significance criteria are contained within the appendices. The proposed General Plan was determined to have significant adverse impacts that can be mitigated to not significant level through implementation of the goals and policies of the proposed General Plan. The proposed General Plan goals and policies were formulated to mitigate any significant impacts to environmental resources. Although no impacts to resource areas were identified as being not significant, some impacts were less intense than others. However, each resource area was analyzed as if there would be a significant impact from implementation of the proposed plan and mitigation in the form of goals and policies was provided.

- **Land Use.** An increase in industrial, commercial, and residential land uses will occur. Indirect impacts associated with the increase in population and development include traffic, noise, reduction in air quality, increased demands on public services, infrastructure, and community services. Impacts associated with

- land use compatibility especially in relation to agricultural and urban land uses.
- ▶ **Circulation.** Impacts of increased vehicle traffic associated with the projected buildout of the proposed General Plan.
 - ▶ **Infrastructure/Public Services.** Increased demands for domestic water and sewer. Increases in impervious surfaces resulting in an increase in the amount of runoff in the Coachella Valley Stormwater Channel (CVSWC) and storm drain system, and an increase in the amount of solid waste generated.
 - ▶ **Community Services.** An increase in the estimated school age population will necessitate additional school facilities. An increasing population will create additional needs for health care services and libraries within the community. Increasingly diversified services including hospitals, clinics, emergency care centers, and physicians will be needed to fully service the community. Increases in population will create additional demands for parks and recreational services within the community.
 - ▶ **Community Design (Aesthetics).** Impacts associated with grading in the hillsides and slope areas of the Indio Hills to accommodate the development, additional light and glare from the development, and the development of large expanses of open space are all anticipated to be significant.
 - ▶ **Open Space.** Implementation of the proposed General Plan will introduce urban land uses north of Interstate 10 (I-10) in areas that are currently designated as agriculture and open space uses under the County of Riverside General Plan. This area also contains the visually prominent Indio Hills, which contain the largest continuous expanse of open space in the Planning Area. Building of infrastructure and structures in this area has the potential to significantly impact the visual resources of this open space area.
 - ▶ **Soils.** Soils within the Indio Hills area are subject to a high potential of erosion from wind and water. Any disturbance of soils on the steep hillsides from grading operations has the potential to significantly impact soils during periods of severe storms or high winds if the soils are not protected.
 - ▶ **Water Resources.** Surface water hydrology and water quality impacts will occur with development.
 - ▶ **Biological Resources.** The conversion of undeveloped areas north of Avenue 38 and the flood control levee in the northern portion of the Planning Area to urban uses as a result of implementation of the General Plan will contribute significantly to the destruction of sensitive plant and wildlife habitat.
 - ▶ **Energy Conservation.** Implementation of the proposed General Plan will result in a significant amount of energy consumption during land development and construction of projects and at ultimate buildout.
 - ▶ **Mineral Resources.** There is the potential for significant impacts to existing mineral extraction operations within the Indio Hills from the siting of incompatible land uses in their vicinity.
 - ▶ **Cultural Resources.** Implementation of the proposed General Plan will disturb soils that may contain prehistoric, historic, or paleontological resources.
 - ▶ **Noise.** Implementation of the proposed General Plan will increase ambient noise levels in the community through construction and vehicular traffic on area roadways. Increased populations within the Planning Area will be exposed to aircraft, roadway, and train noise.
 - ▶ **Police and Fire.** The proposed General Plan will increase the demand for fire protection through accidents involving fires, situations involving hazardous wastes, and the need for increased paramedic services in the event of an emergency. The police department is already fully committed, resulting in longer response times and the need for additional police staffing.
 - ▶ **Emergency Preparedness.** Implementation of the proposed plan will put people and property at risk associated with seismic activity, floods, erosion, slope failure, wildfires, and hazardous waste spills and accidents.

- ▶ **Geology, Seismicity.** Implementation of the proposed General Plan will expose structures and people to strong ground motion, potential for ground settlement (liquefaction), and landslides associated with seismic activity in the area.
- ▶ **Flood Hazards.** Implementation of the proposed plan will result in grading and construction activities that will expose soils to erosion from water. Increased development will increase the amount of stormwater runoff resulting in an increased demand for stormwater drainage systems.
- ▶ **Airports.** Increases in population and development as a result of implementation of the proposed General Plan will expose structures and people to aircraft-related noise and safety hazards in the area of the Bermuda Dunes Airport. There is also the possibility for land use conflicts associated with incompatible land uses being sited within the airport's area of influence.
- ▶ **Housing.** Implementation of the proposed plan will increase the number of housing units within the City.

5.2.3 Adverse Impacts That Are Less Than Significant

The following resource areas were evaluated for impacts found to be adverse but less than significant.

- ▶ **Infrastructure/Public Services.** There will be an increase in the demand for electricity; however, the Imperial Irrigation District (IID) has indicated that it can service new development on demand and its system has been designed to grow with Indio and the surrounding area. The Southern California Gas Company (SCG) will need to extend its facilities into the area to facilitate growth.
- ▶ **Hazardous Materials.** Implementation of the proposed plan has the potential to subject humans to common hazardous materials and hazardous waste problems similar to what currently exists in the Planning Area. The majority of hazardous materials and hazardous waste problems that will continue to exist will be transportation accidents on I-10, the railroad and streets within the City's jurisdiction, illegal dumping, underground storage tank leaks, leaking petroleum pipelines, commercial and industrial wastes, agricultural pesticides, and illegal drug laboratories. The City will continue to implement its Basic Emergency Plan providing public protection from hazardous materials incidents.

5.2.4 Impacts Considered, But Not Found To Be Adverse Or Significant

The following resource areas were considered in the EIR; however, through further analysis it was determined that these impacts were neither adverse nor significant.

- ▶ **Land Use.** Impacts associated with the intensification of residential development will not occur.
- ▶ **Infrastructure/Public Services.** Implementation of the proposed General Plan will not have a significant impact on telephone, telecommunication, or cable television services.
- ▶ **Economic Development.** The proposed General Plan will result in significant increases in tax revenues, from both property tax and sales tax, and revenues from citywide fees. The significant increase in property tax is attributed to both the increased land area under the City's control and the intensification of uses under the proposed General Plan. Additional revenues from fees will be created through additional development as a result of implementing the proposed plan. Job opportunities will also benefit the community economically through the jobs created by this project, including but not limited to employees of the planned industrial and commercial developments.
- ▶ **Government.** The proposed General Plan attempts to standardize the governmental structure of the community resulting in a more organized government structure. This is a positive impact.

5.3 AREAS OF CONTROVERSY AND UNRESOLVED ISSUES

Certain issues that were brought out as a result of the NOP process are indicated below and have been included in the analysis of environmental impacts in Sections 3.1 through 5.8 of the EIR. No unresolved issues were identified in the EIR. The areas of controversy are as follows:

- ▶ impacts on local water supply and water quality;
- ▶ flooding and drainage impacts on downstream properties;
- ▶ traffic and circulation impacts to existing and future City and county roadways within the Planning Area as a result of buildout of the General Plan;
- ▶ impacts on regional parks;
- ▶ impacts on sensitive plants and wildlife;
- ▶ air quality impacts due to increased vehicular traffic, utility use, and dust from grading and mining (consistency of the General Plan with the Air Quality Management Plan [AQMP]);
- ▶ impacts of housing growth on school districts within the Planning Area;
- ▶ potential for aircraft related noise and safety impacts on the Planning Area; and
- ▶ loss of prime agricultural lands.

5.4 ALTERNATIVES TO PROPOSED PROJECT

An AR was prepared by Chambers Group, Inc., on December 9, 1992, as the third document in a series of reports prepared as part of the Indio General Plan - 2020. The purpose of the report was to provide the City with a reasonable range of alternatives of the General Plan, both for land use and circulation to serve as a basis for proceeding with the preparation of the General Plan. This EIR evaluates the alternatives to the General Plan as proposed in the AR as required by CEQA's implementation guidelines (Section 15126d). Per the guidelines, "The discussion of alternatives shall focus on

alternatives capable of eliminating any significant adverse environmental effects or reducing them to a level of not significant, even if these alternatives would impede to some degree the attainment of the project objectives, or would be more costly." The EIR is also to evaluate a "reasonable range" of alternatives. The following is a brief description of the alternatives considered in detail in Section 8 of the EIR.

5.4.1 "No Project" Alternative

With the "No Project" Alternative, the City would continue to operate under its current General Plan adopted in 1978. This update to the City's General Plan would not occur under the "No Project" Alternative. The unincorporated areas within the City's sphere-of-influence would remain under the jurisdiction of the County of Riverside, and the City would not have control over development in those areas. Implementation of this alternative would have similar impacts on biological habitat, wildlife, community services, and infrastructure as with the proposed project; however, the proposed project impacts on agricultural lands would be reduced with this alternative.

5.4.2 Low-Density Alternative

The major change between this alternative and the proposed plan would occur in the Shadow Hills planning subarea (north of I-10). In this subarea, commercial and residential land and densities have been greatly reduced. Certain areas in the northern end of the subarea have been changed to rural densities of ½ acre to 1-acre lots. The pattern for development for the remaining parts of the City would essentially be low-density residential in character. The less intense development pattern would result in a lower population and a decrease in commercial lands uses. Impacts resulting from a less intense development pattern will have a reduced impact on agricultural land uses; ambient noise levels; biological resources; water and wastewater services; community services such as schools; recreational facilities; police and fire personnel and facilities; health care; air quality; and circulation.

5.4.3 Moderate-Density Alternative

This alternative includes provisions for a wide range of land uses. All types of housing densities have been provided. The moderate-density alternative differs from the proposed plan in that the RPD overlays have been eliminated. This alternative is actually the proposed plan at a low-end buildout. With the proposed plan, the buildout population is estimated at 208,739. With the moderate-density alternative the buildout population is estimated at 149,847. Dwelling units are estimated at 67,121 with the proposed plan and 48,687 with the moderate-density alternative. Environmental impacts of the moderate-density alternative are expected to be slightly less than with the proposed land use plan on air quality, infrastructure, community services, and circulation.

5.4.4 High Density Alternative

This alternative proposes the most intensive level of future development for the Planning Area. This alternative would also set forth the least restrictive development standards to apply to future development. The physical results of this alternative on the future of Indio would be an intensification of land use densities. Residential units, as well as the future maximum population level of the City, would be greatly increased under this alternative. The adoption of this alternative plan as shown would result in a dramatic transformation of the current character of the community. If planned properly, this alternative plan would not result in a degradation in the quality of life found in the community, although it would modify the City's lifestyle. Environmental impacts resulting from a higher intensity of development would result in increased impacts on ambient noise levels, biological resources, water and wastewater services, community services such as schools, recreational facilities, police and fire personnel and facilities, health care, and circulation. The only impact that would be slightly reduced with this alternative is the air quality impact of blowing dust. More vacant land within the City would be covered with an intensity of development; however, the impacts of blowing dust during grading for construction would be similar to those of the proposed project.

5.4.5 Environmentally Superior Alternative

The low-density alternative was determined to be the Environmentally Superior Alternative to the proposed General Plan. This alternative would reduce the proposed General Plan's unavoidable significant impacts on agricultural lands and slightly reduce the impacts on regional air quality.

The City has adopted the proposed General Plan in lieu of the environmentally superior alternative because the proposed General Plan provides substantial vision, social, economic, and other overriding benefits to the public health and safety which cannot be achieved with the alternatives evaluated. The approved General Plan provides a wide variety of techniques to enhance public health, safety, and welfare. It increases housing opportunities through a wide range of density designations in addition to mixed use developments and RPD overlays. The plan reduces development in those areas which cannot be served by critical public facilities, thereby reducing environmental damage and enhancing the aesthetic environment. Sensitive biological and cultural resources are preserved by early identification of sensitive areas as well as providing incentives for the preservation of sensitive resources. The General Plan will also create new employment opportunities through availability of commercial and industrial sites, and thereby enhance the tax revenues of the City. Public safety on the roadways will also be improved by implementing a plan for well designed roadway with appropriate cross-sections to handle expected traffic volumes. The new General Plan also improves safety by setting City policies for dealing with hazardous materials, seismic safety zones, and flood hazards.

Table 5.1-1

ENVIRONMENTAL IMPACT SUMMARY

Existing Conditions	Issues and Impacts	Mitigations	Residual Impact
LAND USE			
Population for 1992 in the Planning Area was 42,099. Existing land uses in the Planning Area consist of 2,925 acres of residential uses including 14,958 dwelling units, 739 acres of commercial, 399 acres of industrial, 823 acres of public, and 6,814 acres of open space (excluding unimproved lands and lands under construction). Existing agricultural and mining land uses consist of 6,506 acres.	<p><u>Direct Impacts</u></p> <p>Conversion from open space and agricultural land uses to residential, commercial, industrial, and recreational uses.</p> <p>Creation of land use conflicts with surrounding land uses.</p> <p>Loss of prime agricultural soils to urban uses.</p> <p>Increase in residential land uses to 14,787 acres and 67,121 dwelling units, an increase in dwelling units of 449 percent.</p> <p>Increase in commercial land uses to 2,261 acres, an increase of 306 percent.</p> <p>Increase in industrial land uses to 1,240 acres, an increase of 311 percent.</p> <p>Increase in public land uses to 1,021 acres, an increase of 124 percent.</p> <p>Increase in open space to 7,089 acres, an increase of 104 percent.</p> <p>Increase of approximately persons over a 27-year period.</p> <p><u>Indirect Impacts</u></p> <p>Indirect impacts to traffic, noise, air quality; increased demand on public services, infrastructure, and community services from population increases.</p>	Mitigation is provided in the Implementation Measures table in Section 3.1 in the Goals and Policies section of the General Plan document.	<p>Impacts to prime agricultural lands remain significant.</p> <p>Other impacts to land use are reduced to not significant.</p>

Table 5.1-1

ENVIRONMENTAL IMPACT SUMMARY

Existing Conditions	Issues and Impacts	Mitigations	Residual Impact
CIRCULATION			
The majority of the Planning Area has yet to be developed, especially north of I-10. Major roadways that extend south from I-10 are currently impacted by traffic generated within the City and from adjacent communities.	<p>At buildout of the proposed General Plan, the Planning Area land uses are estimated to generate 1,497,282 total trip-ends and total land uses within the traffic model extended study area 2,943,448 trip-ends.</p> <p>An overcrossing at Madison and I-10 and the East Valley Parkway will be required to facilitate growth north of I-10 in the Planning Area.</p> <p>Upgrades will be necessary to Madison Street, Jefferson Street, Monroe Street, Jackson Street, 50th Avenue, 48th Avenue, Highway 111, Miles Avenue, Fred Waring Drive, and Country Club Drive.</p>	Mitigation is provided in the Implementation Measures table in Section 3.2 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.

Table 5.1-1

ENVIRONMENTAL IMPACT SUMMARY

Existing Conditions	Issues and Impacts	Mitigations	Residual Impact
INFRASTRUCTURE/PUBLIC SERVICES			
<p>Water is provided to most of the Planning Area by the City's own water department, and a portion is served by CVWD.</p> <p>Sewer providers include the Valley Sanitary District (VSD) and CVWD. The City's solid waste is deposited in the Coachella Landfill, which is expected to reach capacity by the year 2014.</p> <p>The IID currently provides electricity to the City.</p> <p>SCG provides natural gas service on a demand basis.</p> <p>General Telephone (GTE) lines are located throughout the Planning Area, and service is provided on a demand basis. Long distance telephone service is currently provided throughout the area.</p> <p>Colony Cablevision provides cable television services throughout the area, and service lines are extended as development occurs.</p>	<p>Increased demand for domestic water, sewer service, flood, and drainage control facilities.</p> <p>An increase in solid waste generated from 62,000 to 473,837 tons per year. Coachella Landfill is expected to reach capacity by the year 2014.</p>	<p>Mitigation is provided in the Implementation Measures table in Section 3.3 in the Goals and Policies section of the General Plan document.</p>	<p>Impacts are reduced to not significant.</p>

Table 5.1-1

ENVIRONMENTAL IMPACT SUMMARY

Existing Conditions	Issues and Impacts	Mitigations	Residual Impact
COMMUNITY SERVICES			
<p>The Planning Area is serviced by both the Desert Sands Unified School District (DSUSD) and the Coachella Valley Unified School District (CVUSD). Continuing education opportunities are provided in the region at the COD, Chapman College, National University, and California State University, San Bernardino (Satellite Campus).</p> <p>A broad range of health care services is available within the Planning Area, including private practice physicians, a full-service medical facility, and two publicly funded health care clinics.</p> <p>The City of Indio and the Coachella Valley Recreation and Park District (CVRPD) are responsible for parks and recreation facilities. The City has a total of approximately 220 acres of recreational facilities within the City limits.</p> <p>The Max T. McCandless Library services the Planning Area and is a 20,000-square-foot regional facility. This library is the largest in the Coachella Valley and one of only two reference libraries in Riverside County.</p>	<p>Increased need for an additional 19 elementary schools, 5 middle schools, and 3 high schools with a projected increase in the school age population of 25,507 students.</p> <p>Increased need for health care services and facilities and libraries.</p> <p>Buildout of the General Plan will create the need for 626 acres of parkland (3 acres per thousand population).</p>	<p>Mitigation is provided in the Implementation Measures table in Section 3.4 in the Goals and Policies section of the General Plan document.</p>	<p>Impacts are reduced to not significant.</p>
COMMUNITY DESIGN			
<p>Currently, the majority of the Planning Area is undeveloped.</p>	<p>Development of unimproved lands will significantly change the look and character of the community.</p>	<p>Mitigation is provided in the Implementation Measures table in Section 3.5 in the Goals and Policies section of the General Plan document.</p>	<p>Impacts are reduced to not significant and are beneficial.</p>

Table 5.1-1

ENVIRONMENTAL IMPACT SUMMARY

Existing Conditions	Issues and Impacts	Mitigations	Residual Impact
ECONOMIC DEVELOPMENT			
Indio has traditionally been the economic center of the Eastern Coachella Valley. The economy in the Coachella Valley has remained concentrated in the retailing, services, agriculture, and lodging resort sectors.	The proposed General Plan will result in significant increases in tax revenues, from both property tax and sales tax, and revenues from citywide fees. The significant increase in property tax is attributed to both the increased land area under the City's control and the intensification of uses under the proposed General Plan. Additional revenues from fees will be created through additional development as a result of implementing the proposed plan. Job opportunities will also benefit the community economically through the jobs created by this project, including but not limited to employees of the planned industrial and commercial developments.	Mitigation is provided in the Implementation Measures table in Section 3.6 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.
GOVERNMENT			
The City of Indio is governed by a Council-Manager style of government. The City has developed procedures for both fast tracking development in the Enterprise Zone and implementing policies for CEQA.	Implementation of the proposed General Plan will increase the needs for a more organized governmental structure. The proposed General Plan attempts to standardize the governmental structure of the community resulting in a more organized government structure.	Mitigation is provided in the Implementation Measures table in Section 3.7 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.

Table 5.1-1

ENVIRONMENTAL IMPACT SUMMARY

Existing Conditions	Issues and Impacts	Mitigations	Residual Impact
OPEN SPACE			
Currently open space uses, excluding unimproved and lands under construction, make up 6,814 acres or 26 percent of the Planning Area.	Buildout of the proposed General Plan will increase open space acreages to 7,089, which represents 26 percent of the Planning Area. Introduction of urban land uses north of I-10 in areas designated as open space in the County of Riverside General Plan.	Mitigation is provided in the Implementation Measures table in Section 4.1 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.
SOILS			
The majority of the Planning Area is within a blowsand hazard area. (Fugitive dust is analyzed in air quality.) Soils in the Planning Area consist of Myoma fine sand, Indio fine sand, Coachella fine sandy loam, and Indio very fine sand loam, which are subject to erosion from wind and water.	Implementation of the proposed General Plan will result in the loss of 6,577 acres of prime agricultural soils. Soils in the Planning Area are subject to erosion from wind and water.	Mitigation is provided in the Implementation Measures table in Section 4.2 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.
AGRICULTURE			
Existing agricultural uses consist of 6,030 acres or 22.7 percent of the Planning Area. These uses are located generally north of I-10 and in the fringes of the urban area of Indio.	Implementation of the proposed General Plan will result in the loss of 6,577 acres of prime agricultural soils.	Mitigation is provided in the Implementation Measures table in Section 4.3 in the Goals and Policies section of the General Plan document.	Impacts to prime agricultural lands remains significant.

Table 5.1-1

ENVIRONMENTAL IMPACT SUMMARY

Existing Conditions	Issues and Impacts	Mitigations	Residual Impact
WATER RESOURCES			
<p>Indio is underlain by the Thermal Subarea of the Coachella Valley Groundwater Basin. Overdraft of the groundwater basin is estimated to increase to 28,500 acre-feet per year by the year 2000.</p> <p>Reclaimed water is supplied from the Coachella Valley Water District wastewater treatment plant located at Avenue 38 and Madison Street. Reclaimed water is currently used on golf courses for irrigation and landscaped open areas.</p> <p>Domestic water service is supplied by the City's Public Works Department.</p> <p>The VSD treatment plant located on Van Buren Street uses settling ponds to recharge the aquifer.</p>	<p>Increased demand for groundwater resources, decreases in groundwater recharge from an increase in impervious surfaces.</p> <p>Increase in urban stormwater runoff that may carry pollutants, which may degrade water quality in the Planning Area.</p>	<p>Mitigation is provided in the Implementation Measures table in Section 4.4 in the Goals and Policies section of the General Plan document.</p>	<p>Impacts are reduced to not significant.</p>

Table 5.1-1

ENVIRONMENTAL IMPACT SUMMARY

Existing Conditions	Issues and Impacts	Mitigations	Residual Impact
BIOLOGICAL RESOURCES			
Areas of high biological sensitivity are located in areas north of the east side dike. The desert plant communities found in the Planning Area that are regarded as sensitive and possibly containing sensitive plant and wildlife species are stabilized dunes, Sonoran Desert scrub, and fan palm oases.	<p>Conversion of undeveloped lands and introduction of urban land uses north of Avenue 38 and the flood control levee north of I-10 will contribute to the devastation of sensitive wildlife habitat.</p> <p>Direct and indirect impacts on plants and wildlife through the elimination of suitable habitat by the conversion to more urban uses and development on adjacent plant and wildlife communities.</p> <p>Construction impacts to plant species resulting in increased siltation and erosion on adjacent waterways.</p> <p>Loss of agricultural lands may impact wildlife species that use these areas.</p> <p>Stabilized dune habitats will be affected through the introduction of urban land uses.</p>	Mitigation is provided in the Implementation Measures table in Section 4.5 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.
ENERGY CONSERVATION			
Title 24 of the State Building Code deals directly with energy conservation and is continuously updated and revised to require greater energy efficiency in the construction of new housing. The SCG offers repairs for appliances and implements a replacement and low-income weatherization program at no cost to qualified homeowners. Southern California Edison (SCE) offers an energy management hardware rebate program to its customers.	Increased energy consumption (natural gas, electricity) during land development, construction of projects, and at ultimate buildout.	Mitigation is provided in the Implementation Measures table in Section 4.6 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.

Table 5.1-1

ENVIRONMENTAL IMPACT SUMMARY

Existing Conditions	Issues and Impacts	Mitigations	Residual Impact
MINERAL RESOURCES			
The state has designated three areas within the Indio Hills as containing significant aggregate resources. Two of these areas are contained within the Planning Area. The only active aggregate operation within the Planning Area is the Granite Construction aggregate quarry, which has recently obtained additional permits to continue mining over the next 20 years.	Potential impacts to existing mining operations from the siting of incompatible land uses in the vicinity of the mine.	Mitigation is provided in the Implementation Measures table in Section 4.7 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.
CULTURAL RESOURCES			
Buried cultural resources may be present. There is the potential for paleontological resources.	<p>Potential impact to existing historic resources associated with mining and ranching.</p> <p>Potential loss of archaeological value through disturbance of historic and prehistoric sites in Planning Area.</p> <p>Construction operations within sedimentary rock formations have the potential to disturb and destroy significant paleontological resources.</p>	Mitigation is provided in the Implementation Measures table in Section 4.8 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.
NOISE			
Noise sources in the Planning Area include natural sounds, manmade sounds from residences, aircraft overflight from the Bermuda Dunes and Thermal airports, the Southern Pacific Railroad, and the freeway. The majority of the Planning Area remains outside the 70-dBA noise contour level.	<p>Potential short-term impacts may occur from construction activities.</p> <p>Increased traffic on area roadways will increase exposure of sensitive noise receptors to increased noise.</p> <p>Implementation of the proposed General Plan will expose additional populations to existing noise sources.</p>	Mitigation is provided in the Implementation Measures table in Section 5.1 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.

Table 5.1-1

ENVIRONMENTAL IMPACT SUMMARY

Existing Conditions	Issues and Impacts	Mitigations	Residual Impact
AIR QUALITY			
<p>The climate of the Coachella Valley is arid with rainfall averaging less than 3 inches per year. The Coachella Valley is subject to the overall southern California wind regimes, which seasonally affect climate and air quality. Ozone and particulates (PM₁₀) are the major air quality problems in the South East Desert Air Basin (SEDAB). In the Planning Area, the ozone standard is exceeded due to transport from the South Coast Air Basin and is not attributed to activities within the SEDAB. Fugitive dust or wind-induced soil erosion is the greatest contributor of PM₁₀ in the Coachella Valley</p>	<p>Generation of fugitive dust and combustion emissions during construction of development.</p> <p>Generation of significant volatile organic compounds (VOC) emissions from structure coatings.</p> <p>Generation of air pollution from daily vehicle trips at project buildout.</p> <p>Secondary impacts will contribute to regional air quality impacts.</p>	<p>Mitigation is provided in the Implementation Measures table in Section 5.2 in the Goals and Policies section of the General Plan document.</p>	<p>Impacts remain significant for NO₂, ROG, and PM₁₀. All other air emissions are reduced to adverse because they contribute to the regionally degraded air basin.</p>
POLICE AND FIRE SERVICES			
<p>Police protection for the City is provided by the Indio Police Department. The police force personnel currently includes 52 sworn officers and 21 nonsworn employees.</p> <p>The Indio Fire Department provides fire protection and paramedic services to the City of Indio. The Department has three stations throughout the City. Response times are currently under 10 minutes.</p>	<p>Increased population will increase the need for additional police and fire protection services and facilities.</p>	<p>Mitigation is provided in the Implementation Measures table in Section 5.3 in the Goals and Policies section of the General Plan document.</p>	<p>Impacts are reduced to not significant.</p>
EMERGENCY PREPAREDNESS			
<p>The City currently implements a basic emergency planning and response program through a mutual aid system with the County of Riverside and surrounding communities.</p>	<p>Buildout within the Planning Area will place people and structures in areas subject to natural hazards that have the potential to create risks to life and property.</p>	<p>Mitigation is provided in the Implementation Measures table in Section 5.4 in the Goals and Policies section of the General Plan document.</p>	<p>Impacts are reduced to not significant.</p>

Table 5.1-1

ENVIRONMENTAL IMPACT SUMMARY

Existing Conditions	Issues and Impacts	Mitigations	Residual Impact
HAZARDOUS MATERIALS			
The majority of hazardous material problems that exist and will continue to exist in the Planning Area are transportation accidents on I-10, the railroad and streets within the City's jurisdiction, illegal dumping, underground storage tank leaks, leaking petroleum gas pipelines, commercial and industrial wastes, agricultural pesticides, and illegal drug laboratories.	Implementation of the proposed General Plan has the potential to expose humans to the common hazardous materials and hazardous waste problems similar to what currently exists in the Planning Area.	Mitigation is provided in the Implementation Measures table in Section 5.5 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.
GEOLOGY AND SEISMICITY			
<p>The majority of the Planning Area lies at or below sea level, except the Indio Hills, which rise to 1,350 feet above the surrounding area. The Indio Hills represent the most significant topographical feature in the area.</p> <p>The San Andreas fault zone is located north of the east side dike and is considered the most active fault system in California. The majority of the Planning Area is subject to severe ground shaking and liquefaction.</p>	<p>Grading for infrastructure and structures in the Indio Hills may significantly impact topographical features of these hills and could expose human life and property to unstable soils.</p> <p>Implementation of the proposed General Plan will continue to expose people and structures to the effects of seismically induced hazards such as ground shaking, fault rupture, liquefaction, slope instability, and subsidence.</p>	Mitigation is provided in the Implementation Measures table in Section 5.6 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.

Table 5.1-1

ENVIRONMENTAL IMPACT SUMMARY

Existing Conditions	Issues and Impacts	Mitigations	Residual Impact
FLOOD HAZARDS			
The CVSWC is the major purveyor of stormwater runoff in the Coachella Valley. Flooding in areas north of I-10 is due to culverts not having sufficient capacity to pass stormwater in an efficient manner. Other area subject to flooding include Avenue 45 at Van Buren Street, Highway 111 at Calhoun Street, and Avenues 47 and 48 between the CVSWC and the Southern Pacific railroad. The City does not have a comprehensive drainage system inventory or systematic maintenance program.	<p>Implementation of the proposed General Plan will continue to expose people and structures to flood-related hazards.</p> <p>Additional development will increase stormwater runoff flowing into the CVSWC resulting in a greater demand on the existing storm drain system.</p>	Mitigation is provided in the Implementation Measures table in Section 5.7 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.
AIRPORTS			
There are two airports in the vicinity of the Planning Area: the Thermal Airport and the Bermuda Dunes Airport. Neither is within the Planning Area.	<p>Potential conflict in land uses between the Bermuda Dunes Airport and those of the Planning Area.</p> <p>Exposure of people and structures to aircraft accidents and noise.</p>	Mitigation is provided in the Implementation Measures table in Section 5.8 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.
HOUSING			
Currently, the Planning Area has 14,958 dwelling units within its jurisdiction.	Implementation of the proposed General Plan will increase the number of dwelling units from 14,958 to 67,121. SCAG estimates the number of households in Indio to be 16,254 in 2010. This estimate does not take into account the additional households outside the current cooperate limits.	Mitigation is provided in the Implementation Measures table in Section 6.0 in the Goals and Policies section of the General Plan document.	Impacts are reduced to not significant.

GOALS AND POLICIES REPORT



1. Mission Statement
2. Introduction
3. Community Development
4. Environmental Resources
5. Public Health and Safety
6. Housing

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MISSION STATEMENT



The Indio General Plan represents an effort by those who live, work, invest, and recreate in Indio and the surrounding environs to plan for their future. This effort was undertaken in order to plan for a diversified City that offers residential opportunities to all ages and income levels; encourages the development of the City's employment base to provide a range of employment opportunities; supports a broad commercial base that is diversified in type and location; protects the health, safety, and welfare of all persons in the community; offers the residents of Indio a choice of recreational opportunities that are close to home; plans for the infrastructure needed to support the community today and tomorrow; and gives the City a set of flexible land use designations that provide both structured guidance as well as opportunities for innovation.

A VISION FOR INDIO

In addition to the broad objectives for the City of Indio outlined in the Mission Statement on the previous page, the General Plan also includes a series of statements that provide a vision for what the City would like to achieve in the future. The Mission Statement and vision statements together provide a framework that outlines what this General Plan is to accomplish. It is to these ends that the goals, policies, and implementations stated in the four General Plan elements were designed to reach.

In the early interviews and workshops held on the General Plan, it became clear that there were planning needs on both a Planning Area-wide level as well as definable sub-areas within the Planning Area. The vision statements that follow reflect these different needs. The first set of vision statements address the entire Planning Area. Following these statements, the vision statements are divided into the following nine planning sub-areas:

1. Shadow Hills
2. North Indio
3. East Valley Parkway Corridor
4. Downtown
5. Westside
6. Highway 111 Corridor
7. County Center
8. South Indio/Medical Center
9. Indio Ranchos

These nine sub-areas have been used throughout the planning process, and were included in the analysis conducted for the Alternatives Report prepared earlier in the General Plan process. Each of these sub-areas were found to have unique opportunities and challenges that helped to define their future needs and potentials. A summary of each sub-areas opportunities and challenges are included in Section 3 of the General Plan Summary.

Figure 1-1 gives an overview of the nine planning sub-areas and a summary of the visions for each area.

Visions for the Planning Area

The following are the vision statements that apply to the Planning Area as a whole.

- ▶ The City of Indio has historically been the focus of commercial activity in the Coachella Valley. In the recent past, this focus has shifted to the communities located to the west. The City of Indio desires to reestablish its position as a regional commercial center for both residents and visitors in the Coachella Valley.
- ▶ The City of Indio desires to maintain and enhance the community as a safe, convenient, and affordable place to raise a family. The community will offer access to exceptional recreational, educational, and employment opportunities.
- ▶ The City has great potential to attract tourism. There are a broad range of opportunities centered around the climate and history of the area, as well as the recreational activities which exist in the City and adjoining areas. The El Dorado and Empire Polo Clubs offer world-class sporting events that continue to attract more people to experience Indio. As the City improves its image, appearance, and recreational opportunities, tourism will increase.
- ▶ The City will promote employment opportunities at all levels of ability and expertise. Research and development, financial, real estate, and other institutions will view Indio as an ideal location to bring their employees.
- ▶ The City will have a broad mixture of housing opportunities available to all income levels. Every employee, from the domestic worker to the corporate president, will have the opportunity to find housing to fit their desires within the City of Indio.
- ▶ The development of well designed gateway features at all primary entrances to the City will give Indio a sense of identity as well as an attractive image for those travelling through and living in the community.

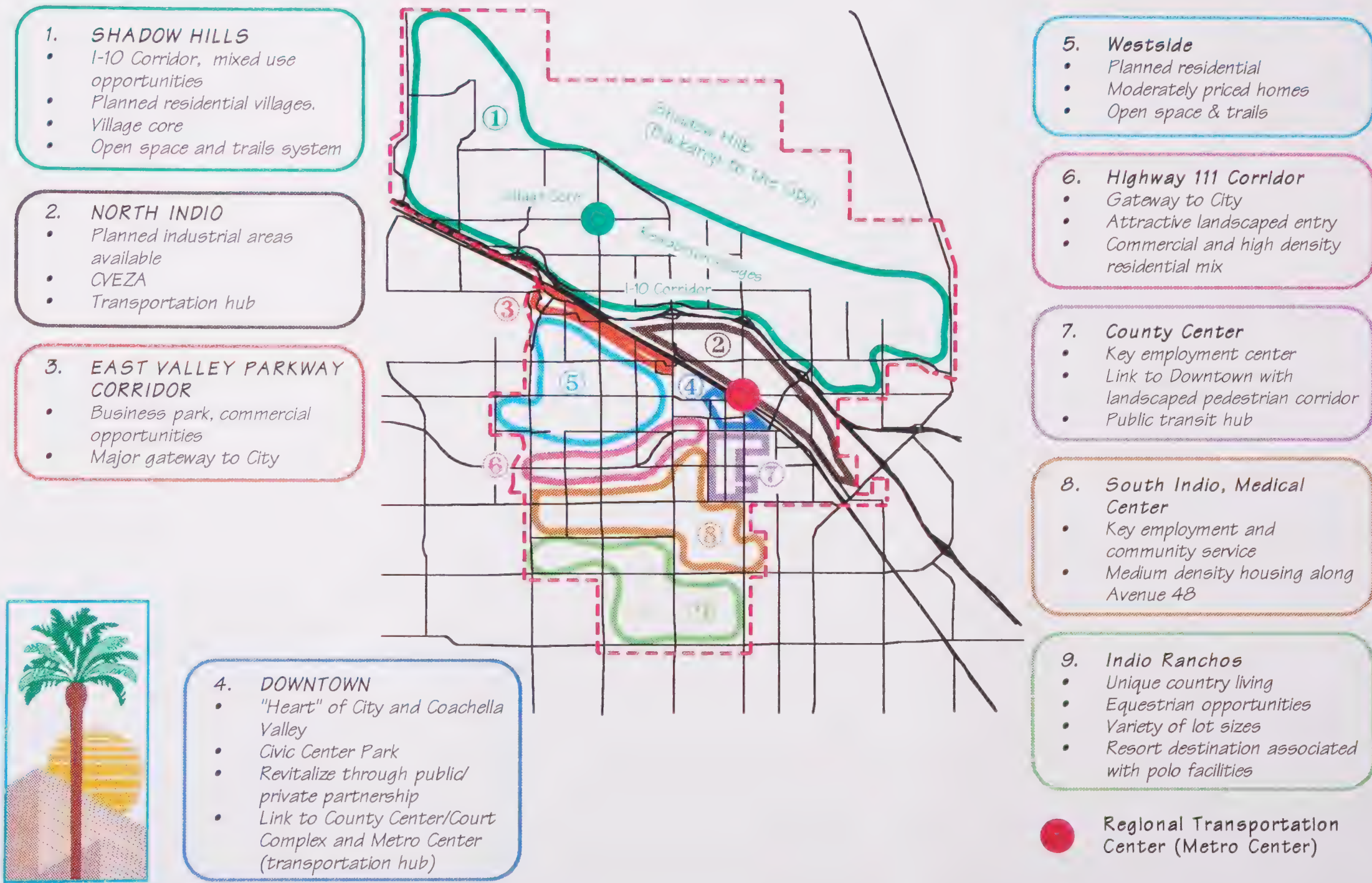


Figure 1-1
A VISION FOR INDIO

Chambers Group, Inc.
Robert Kahn, John Kain & Associates
Associated Engineers
Stanley R. Hoffman Associates
Zeiser Geotechnical



- ▶ New residential "villages" will offer planned communities with a range of housing and recreational opportunities.
- ▶ Open space areas and trail systems will enable the City to provide amenities for all its residents. Pedestrian and non-motorized transportation will be encouraged throughout the City.

Visions for the Planning Sub-areas

1. Shadow Hills

Shadow Hills is the largest and most undeveloped portion of the Indio Planning Area. Framed by the scenic beauty of the Indio Hills, this area represents special opportunities and challenges for the future of the City.

The I-10 Corridor

The extensive frontage along the I-10 Freeway provides the potential for commercial development that serves the existing City areas to the south, the regional area and travellers on I-10. Mixtures of commercial, office, and high density residential should be accommodated in this area. Since this area will present a prominent visual image of the City of Indio, the development standards for the mixed use areas must encourage high quality architectural and landscape design. The core of this commercial corridor is centered at Monroe Street, which will be the primary gateway to the Shadow Hills area. Because the area is currently undeveloped, the City has the opportunity to direct the development of this area in a manner that is economically viable and visually attractive. The City should require specific plans and planned developments in this corridor to assure that the area is comprehensively planned.

Residential Villages

The residents of the City of Indio desire a diversity of housing opportunities that will accommodate the needs of their families at different periods in their lives. There should be opportunities to move from one housing type to another without the necessity of

moving to a different community or city. The General Plan ensures this type of development in Shadow Hills through the use of Residential Planned Developments (RPD) overlays. These overlays are intended to provide comprehensively planned residential villages that have a high degree of amenities including different housing types, extensive landscaping, boulevards with landscaped medians, trails and open space systems, continuity in architectural design, and proximity to public schools, neighborhood parks and recreation areas, and neighborhood commercial opportunities.

The Village Core

The Village Core creates a focal point for the residential villages and provides services that are close to the residential areas. The Village Core is a mixed use area that includes commercial and high density residential uses in addition to a community park and sports complex, and a library. A junior/senior high school is also expected to locate nearby. Special emphasis is placed upon pedestrian circulation and amenities throughout this area.

2. North Indio

The majority of this area is within the Coachella Valley Enterprise Zone Authority (CVEZA), which provides incentives for industries in the area. The vision for the North Indio area includes the maintenance and enhancement of the existing industry and future development of large vacant parcels with new master planned business and industrial parks.

The North Indio area has easy access to rail, the I-10 Freeway, and local traffic routes. This access, coupled with the areas abundant industrial sites and inclusion in the CVEZA provides opportunities for the creation of industrial and manufacturing complexes, thus creating new employment for the community.

The existing residential areas are intended to be maintained and enhanced through focused rehabilitation and landscape programs.

Additionally, the North Indio sub-area is the location of the proposed regional transportation center for the Coachella Valley (Indio Metro Center). The Metro Center will provide multi-modal transportation

MISSION STATEMENT

complex that links the automobile with bus and railroad service. Designed with exciting architectural forms, lush landscaping and shady pedestrian plazas and promenades that connect directly into the Downtown sub-area, the Metro Center will establish a positive image for Indio residents and visitors (see Downtown sub-area also). This transportation center should also be linked to the Downtown with a shuttle system to the Civic Center and the County Center.

3. East Valley Parkway Corridor

East Valley Parkway is the gateway into the community from the west offering excellent exposure to the businesses which may be developed along this corridor. Decorative gateways should be erected near Jefferson Street and near Auto Center Drive to welcome those travelling through the community. Landscaping along the boulevards should be provided to improve the image of the corridor. This corridor is envisioned to be developed with a variety of professional offices, research and development, light industrial manufacturing, related commercial uses and the development of quality economical visitor serving facilities. Clustered commercial development exists at Monroe Street and also at Auto Center Drive and should be expanded to its full potential.

4. Downtown

The Downtown area is the "heart" and historic center of the City of Indio as well as the entire Coachella Valley. In recent years, development in other areas, and especially along Highway 111, has detracted from the commercial viability of this area.

Redevelopment of the Downtown area is vital to retaining this historic center of Indio and the vitality of the City. The areas along Highway 111 and the I-10 Freeway will provide significant commercial development in the future. The Downtown, therefore, must be redeveloped in a manner that establishes it as a "special place: within the framework of the City. The proposed location of the Court System Complex to the south across Highway 111 could serve as the catalyst for the overall revitalization of the area.

Through the redevelopment process, the blighted areas currently existing between the City Hall and the County Court Complex could become the true heart and focal point for Indio. Through a public/private partnership, a grand "Central Park" could be created with water features, meandering walks, picnic pavilions, an outdoor amphitheater for concerts, restrooms, and beautiful shady landscaping.



The Civic Center Park would provide the setting for the creation of new retail shops, restaurants, and professional offices to support the County Center and County Court Complex. A link would be formed between the County facilities, Highway 111, the existing commercial on Miles and Bliss, and the proposed Metro

An illustration of the Downtown area's Civic Center park concept.

(Archiplan, 1985)

Center (see a description of the Metro Center in the North Indio sub-area).

The redevelopment concepts for the Downtown should be analyzed and implemented through a specific plan for the area and the adoption of a redevelopment plan which addresses various means of funding and definitive schedule for development.

5. Westside

The Westside sub-area offers the potential for a variety of moderately priced, good quality housing with recreational and open space amenities. The large areas of vacant land area planned to be developed as master planned communities (RPD 5) that promote a family-oriented neighborhood with excellent parks and trails. A neighborhood commercial area is also planned to provide convenient shopping opportunities for this area.

6. Highway 111 Corridor

The Highway 111 Corridor is envisioned to be a visually attractive commercial service area providing the residents of Indio and the surrounding communities with a variety of shopping and commercial services. The corridor links Indio between I-10 and State Road 86 on the northeast with the communities of La Quinta, Palm Desert, and other destinations to the west. This corridor is planned to be the gateway to Indio from the west, drawing Coachella Valley residents and tourists to shop, work, and play in Indio. Because of the prominence of Highway 111, the visual image of the corridor cannot be over emphasized. Coordinated landscape design along the right-of-way is essential and must be combined with effective entry statements at Jefferson and Auto Center Drive. A Mixed Use, Specific Plan, MU(SP-300), is proposed to establish design standards for the development and enhancement of major commercial centers which serve as a western gateway to the City. The potential of this corridor should be increased through the planned inclusion of high density residential units in mixed use commercial/residential complexes and in adjacent separate parcels which are linked to the commercial areas by pedestrian links.

7. County Center

The County Center area maintains a large employment base and offers workers and visitors support commercial within walking distance. It is envisioned that the County Center be linked to Indio's Civic Center through attractive pedestrian oriented corridors. The City plans to work with the County to achieve a unified design for buildings to achieve a campus setting.

The County Center will become a public transportation hub providing its visitors and workers with ease of access to the rest of the Coachella Valley as well as Indio's Metro Center. The ExpoCenter is envisioned to attract people to Indio through its innovative recreation, cultural and educational programs for all ages, including the well known International Date Festival.

The combination of the County Center with the proposed County Court Complex will provide a critical stimulus to central Indio, and should be pursued as a high priority by the City.

8. South Indio/Medical Center

This area offers a strong base of medical related services surrounding the JFK Hospital. The medical center is compatible with the adjacent residential uses in the area. A diverse range of housing will be available in this area including medium and high density residential to serve the needs of the medical center employees. Internal traffic will be encouraged to use Avenue 48 as an alternative to Highway 111.

9. Indio Ranchos

Indio Ranchos is a unique part of the City of Indio that offers a country estates lifestyle combined with equestrian opportunities. The area is characterized by larger lot estate homes with trails and roadways reflecting the country atmosphere.

A variety of lot sizes should be provided which are designed to accommodate those residents who wishes to provide for horses on site and for those who do not have horses. Opportunities may be provided for common boarding of horses and equestrian riding areas. Additional residential

MISSION STATEMENT

opportunities will be offered in planned residential developments that will meet all the various lifestyles and housing needs of the people who wish to live in a recreational-oriented area of the community.

This area is also the home of the world famous El Dorado and Empire Polo Clubs which offer a tourist attraction unparalleled in the Coachella Valley. The area is planned to accommodate destination resort complexes with recreational opportunities ranging from polo to golf and tennis with a scale that is compatible with those in the adjoining communities.

INTRODUCTION

The Goals and Policies Report (GPR) is the main portion of the General Plan update. This report contains the plan for the future development and operation of the City of Indio. Each element is discussed separately in this report. The elements are comprised of three basic sections: an overall discussion of the element, the goals and policies, and the implementation table.

The California General Plan Guidelines require the following seven elements to be included in a community's General Plan:

- ▶ Land Use
- ▶ Circulation
- ▶ Housing
- ▶ Conservation
- ▶ Open Space
- ▶ Noise
- ▶ Safety

While the state guidelines specify what needs to be addressed in a General Plan, the format is up to the community. To avoid the repetition of material, make the document easier to use, and provide ease of maintenance and implementation, Indio has consolidated the above-mentioned seven elements into the four elements described below.

Community Development Element.

This element combines all the topic areas that are related to the physical growth of the community. Starting with the existing conditions information in the Environmental Setting Report (ESR) and the community aspirations collected from the Community Issues Report (CIR), a General Plan Land Use Diagram and designations were prepared for the Planning Area. This future development plan was then used to prepare goals and policies aimed at implementing this plan while maintaining the quality of life desired by the community. This also covers the state-mandated land use and circulation elements (movement of people/goods as well as infrastructure).

Environmental Resources Element.

The protection of the natural environment is also important to the City of Indio. In order to preserve, protect, and enhance significant environmental resources, all issues related to the natural environment or its use (i.e., mining and agriculture) have been combined into this element. This element includes issues covered by the state-mandated conservation and open space elements.

Public Health and Safety Element.

As with most communities, the City's primary mission is the protection of the public health, safety, and welfare. The Public Health and Safety Element was designed to encompass all aspects of the public's health and safety into a single element. This element combines the state-mandated noise and safety elements.

Housing Element.

The City of Indio desires to achieve a balanced housing stock within the community. This means providing housing for low, moderate, and high income levels. This also includes providing a range of housing types, including single-family homes, multifamily residential homes, mobile homes, and nonyear-round residential opportunities. This also means looking at the City's responsibilities to provide assistance to those unable to obtain adequate housing.

The State of California mandates that every community shall adopt and implement a housing element. The state does not recommend consolidation of this element due to specific requirements and shortened update requirement.

Each element and subelement begins with an introductory section. This section includes a discussion of issues and general information pertinent to this section. Introductory sections help to give the reader a basis for the goals, policies, and implementation measures to follow.

INTRODUCTION

The second portion of the GPR contains the goals and policies of the four above-mentioned elements. The formulation of goals is one of the first steps of the general plan process and relies heavily on input from the community. A goal is defined by the State of California General Plan Guidelines as a direction-setter. In other words, goals describe the ideal future conditions the City aspires to achieve.

Policies are developed based on a General Plan's goals in addition to analysis of data. A policy is defined as a specific statement that guides decision making. Policies are the next step down from development of goals. They help bridge the gap between goals that are very broad statements of how the community should be and implementation measures (discussed below) that are specific programs for implementing those goals. One goal may have several policies that further define it, just as one policy may have several implementation measures providing a variety of actions to implement it.

The third portion of the GPR is the implementation measures tables that not only contains the list of implementation measures formulated to achieve the goals and policies, but also the agency responsible for implementation, timeframe requirements, and the policy being implemented by this action.

Implementation measures pinpoint just how a certain goal will be achieved through the development of specific programs and actions. Implementation measures are defined as an action, procedure, program, or technique that carries out general plan policy. The implementation measure is the end result of this process and is designed to successfully achieve the goals and policies of each element.

The implementation measures tables serve a dual purpose by providing needed implementation measures in a easy to refer to tabular format and meeting California Environmental Quality Act (CEQA) requirements for the necessary Mitigation Monitoring Program. This tabular format provides easy reference back to policies that the actions are implementing. CEQA requires the monitoring program to ensure compliance with mitigation measures during project implementation. Mitigation monitoring is discussed further in the Environmental Impact Report (EIR) portion of this document.

COMMUNITY DEVELOPMENT

3.1 LAND USE

The following is the Land Use subelement for the Indio General Plan. This portion of the General Plan defines a set of land use designations and provides a diagram showing the location of each designation in the Planning Area.

In the following text, each land use designation and land use overlay used in the Indio General Plan are defined by a set of individual policy statements. For the land use designations, each policy will state the character of the designation, the intensity of use allowed in the designation, the land uses allowed in each designation, and the criteria that shall be used by the City in placing a given designation in the Planning Area in the future. For overlay designations, the policy will state the character and use of the overlay and state any additional requirements or allowed uses appropriate for that overlay.

The City's General Plan Land Use Diagram presents the location of each land use designation within the Planning Area. This diagram is presented on Figure 3.1-1. The overlay designations used in the Planning Area are shown on Figure 3.1-2.

Table 3.1-1 provides a tabular summary of the General Plan. This table shows the number of acres in each land use designation. The table also shows the number of units and square footage of commercial and industrial space that could potentially develop within the Planning Area. The unit counts and square footage values represent one possible scenario for the buildout of Indio, and are presented to give the City a concept of what the total buildout of the General Plan could represent. The numbers presented are based on a set of assumptions on the buildout of the Planning Area (the assumptions used are contained in Appendix A), and are not intended to set quotas or limits on future development within any given category.

It is not expected that this number of housing units or square footage will ever be developed because the entire Planning Area will neither develop at a maximum allowed density, nor will developed areas be redeveloped to meet the total allowed density. These numbers have been presented to provide illustrative numbers to help the City understand what the upper limits of development are within the Planning Area.

3.1.1 Land Use Definitions

In the following Land Use subelement, several terms will be used that may not be familiar to the reader. The following definitions are provided to help make this section easier to understand.

- ▶ **Gross Acres.** For any given site or parcel of land, the gross acreage is equal to the total land area under consideration.
- ▶ **Modified Gross Acres (MGA).** In measuring the intensity of a given use, the Indio General Plan uses the MGA of a site. This figure is derived by the following formula:

$$MGA = \text{Gross Acres} - (Rd + FI + Nr)$$

- Rd = Major roadways (roadways shown on the Circulation Plan Diagram)
- FI = Flood control facilities and rights of way. If flood control facility is improved for other uses (i.e., recreational facilities, landscaped or natural areas with trails) and accessible to residents or the public, this acreage may be excluded from the equation.
- Nr = Non-residential land uses (includes schools, parks, utility structures and wells, commercial and industrial land uses). Public park lands and all

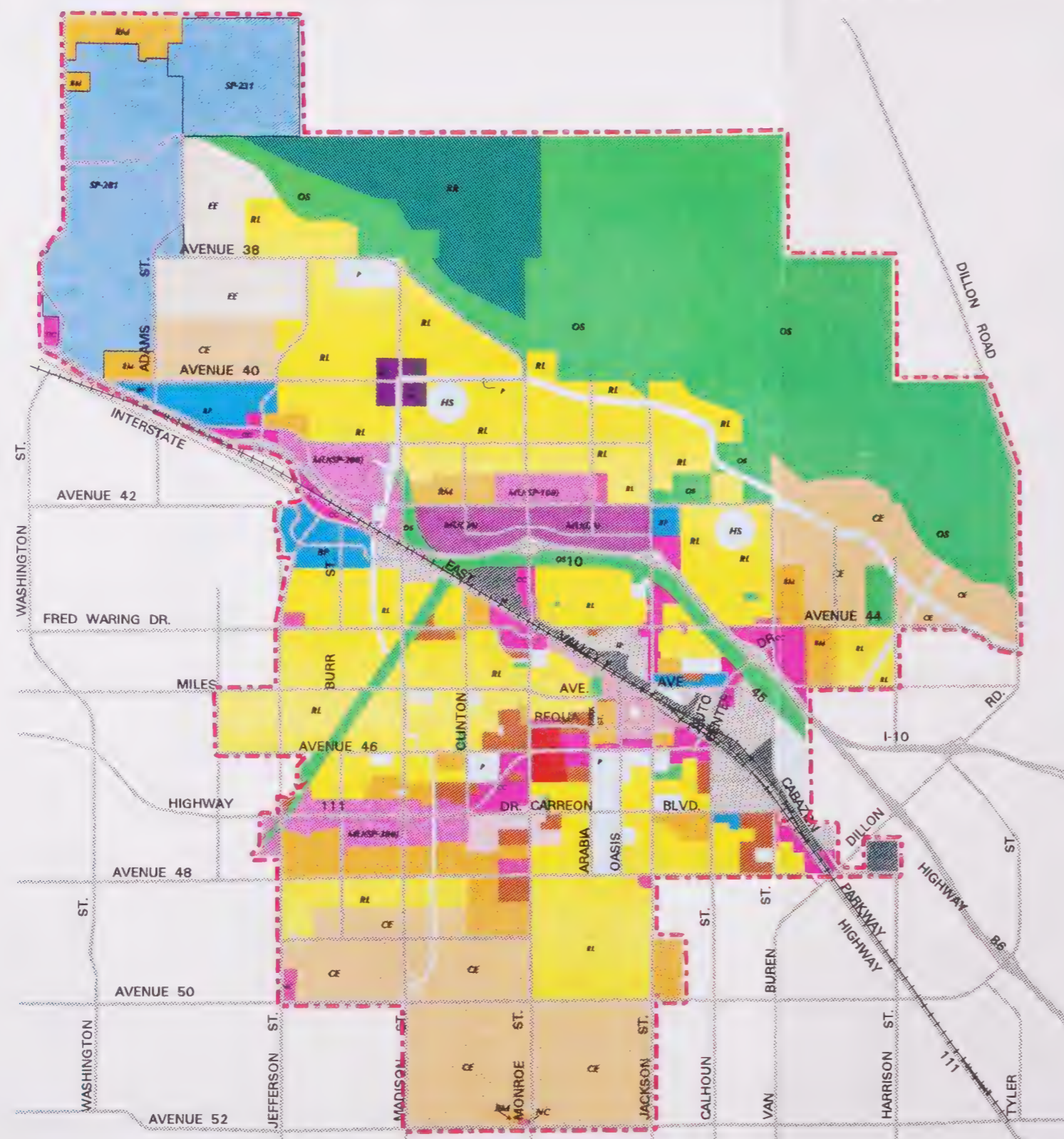
COMMUNITY DEVELOPMENT

Table 3.1-1

INDIO GENERAL PLAN - 2020
Summary of Land Use Designations*

GP	General Plan Designation	Acres	Mod. Gross Acres	Base Units	Max. Units	Base Pop.	Max. Pop.	Maximum Sq. Ft.
CE	Country Estates	3,348.1	3,013.3	2,260	10,547	7,030	32,801	0
EE	Equestrian Estates	709.5	638.6	958	958	2,980	2,980	0
RH	Residential-High Density	370.4	333.4	5,004	5,004	15,563	15,563	0
RL	Residential-Low Density	6,725.2	6,052.7	24,213	27,668	75,303	86,044	0
RM	Residential-Med. Density	1,350.8	1,215.7	8,509	11,405	26,460	35,467	0
CC	Community Commercial	783.6	626.8	0	0	0	0	6,826,725
CO	Commercial Office	128.5	102.8	0	0	0	0	1,567,595
DC	Downtown Commerce	128.3	102.6	461	461	1,434	1,434	782,654
NC	Neighborhood Commercial	113.8	91.0	0	0	0	0	991,970
RC	Regional Commercial	48.9	39.1	0	0	0	0	597,186
BP	Business Park	506.3	405.0	0	0	0	0	6,175,849
IP	Industrial Park	430.2	344.2	0	0	0	0	5,997,515
M	Manufacturing	405.3	219.7	0	0	0	0	3,829,272
P	Public Facilities	1,021.3	919.2	0	0	0	0	0
OS	Open Space	6,031.7	6,031.7	0	0	0	0	0
RR	Resource Recovery	1,057.4	1,057.4	0	0	0	0	0
MU(DA)	Mixed Use (Dev Agreement)	432.9	346.3	1,039	1,039	3,231	3,231	3,621,300
MU(SP-100)	Mixed Use (Specific Plan)	128.3	102.6	462	462	1,437	1,437	939,093
MU(SP-200)	Mixed Use (Specific Plan)	265.1	212.1	954	954	2,967	2,967	1,940,664
MU(SP-300)	Mixed Use (Specific Plan)	336.9	269.5	1,213	1,213	3,771	3,771	2,466,103
VC	Village Core	90.4	72.3	543	724	1,689	2,251	236,433
SP-231	SP-231: Adams 34	597.1	537.4	941	941	2,927	2,927	67,845
SP-281	SP-281: Del Webb	1,452.5	1,307.2	5,745	5,745	17,866	17,866	549,901
XXX	I-10 Freeway	100.4	100.4	0	0	0	0	0
Planning Area Total:		26,564.1	24,142.3	52,302	67,121	162,658	208,739	36,590,105

* The number of units and square footage values presented above illustrate one potential scenario for buildout of the Planning Area. These values are presented to give the City a concept of total buildout, and are not intended to set quotas or limit future development.



Land Use Designations

- RESIDENTIAL**
 - Equestrian Estates EE
 - Country Estates CE
 - Low Density Residential RL
 - Medium Density Residential RM
 - High Density Residential RH
- COMMERCIAL**
 - Neighborhood Commercial NC
 - Community Commercial CC
 - Downtown Commerce DC
 - Regional Commercial RC
 - Commercial Office CO
- INDUSTRIAL**
 - Business Park BP
 - Industrial Park IP
 - Manufacturing M
- MIXED USE**
 - Mixed Use MU(DA)
 - Mixed Use MU(SP)
 - Village Core VC
- PUBLIC**
 - Public P
 - High School Site (Approx) HS
- OPEN SPACE**
 - Open Space OS
 - Resource Recovery RR
- SPECIFIC PLAN**
 - Specific Plan Areas SP

Figure 3.1-1
INDIO GENERAL PLAN
LAND USE DIAGRAM



INDIO
GENERAL
PLAN 2020



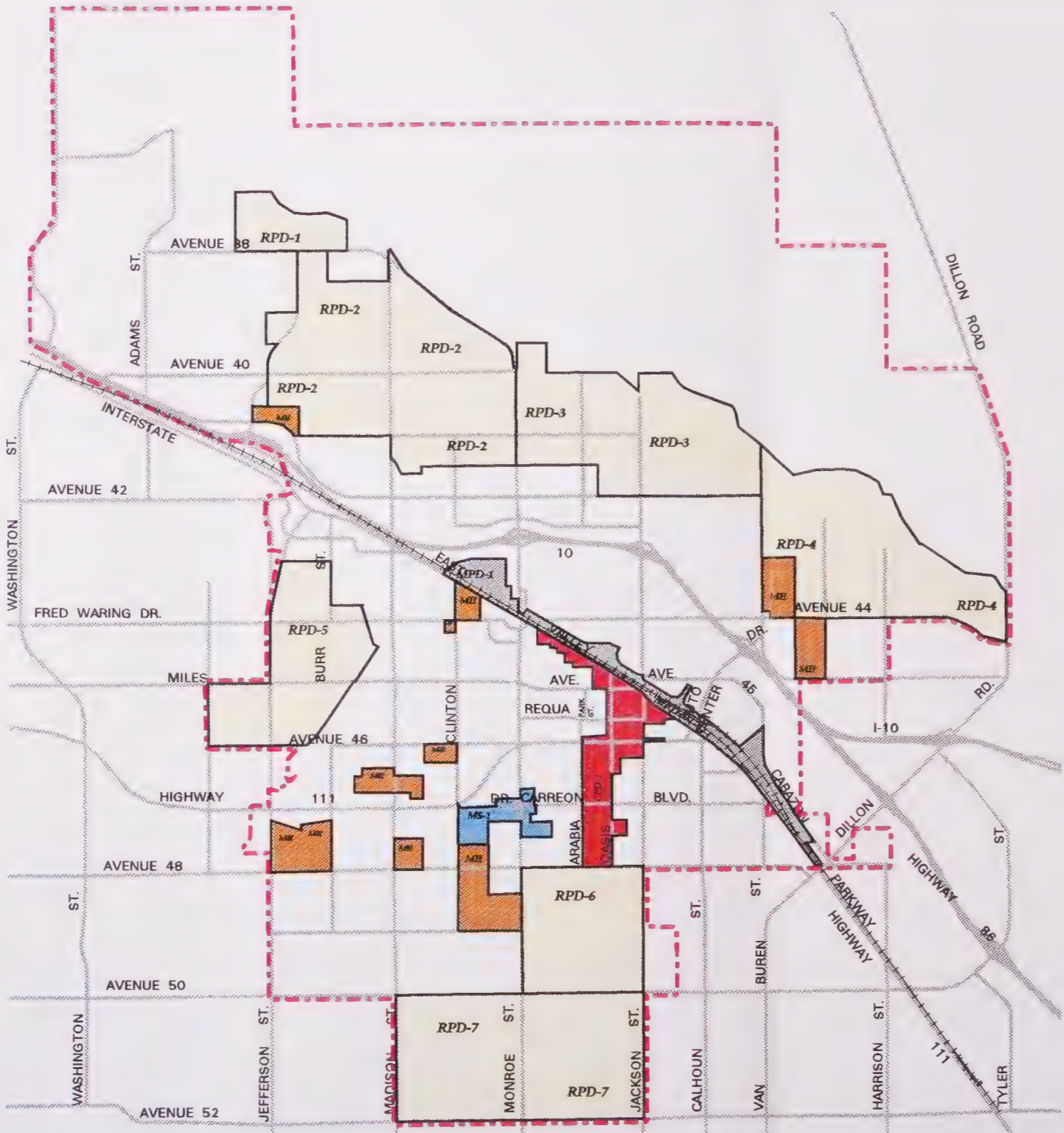
Chambers Group, Inc.
Robert Kahn, John Kain & Associates
Associated Engineers
Stanley R. Hoffman Associates
Zeiser Geotechnical



1" = 6000'




INDIO
GENERAL
PLAN 2020



Land Use Overlays

-  RPD
Residential Planned Dev.
-  MH
Mobile Home/RV Park
-  CPD
Commercial Planned Dev.
-  MS
Medical Services
-  MPD
Manufacturing Planned Dev.

Figure 3.1-2
INDIO GENERAL PLAN
LAND USE OVERLAYS

 **Chambers Group, Inc.**
Robert Kahn, John Kain & Associates
Associated Engineers
Stanley R. Hoffman Associates
Zeiser Geotechnical



recreational uses developed at the applicant's expense (i.e., landscaped and furnished) may be excluded from this value. A school site accepted by the school district at no cost to the district may also be excluded from this value.

- ▶ **Intensity.** Intensity is defined as the degree or magnitude of a use. In land use, intensity is measured in two ways. For commercial, industrial, and office-type developments, intensity is measured as a lot coverage, which is expressed as a percent of the total lot. This is determined by dividing a project's footprint (area covered by buildings) by the MGA of the site and multiplying by 100.

For residential projects, intensity is described using the term "density." Density is a measurement of the number of dwelling units per acre for a project. A density of four units per acre (MGA) is typically expressed as 4 du/ac. For any type of density (see the next paragraph), the number of units per acre is only a possible yield on a site. It may not be possible to achieve the full dwelling units per acre allowed due to constraints on a site such as slope, easements, shape of the site, and other development constraints and standards.

Some residential categories have a threshold and a maximum density. The threshold is the number of units per acre allowed in a given designation. This threshold density can be exceeded if it is determined that the project provides amenities not commonly found in projects of a similar type. Types of amenities that will be considered to allow a project to exceed the threshold density while staying at or below the maximum density include the following:

- ▶▶ preservation of sensitive biological or cultural resource site,
- ▶▶ larger setbacks along major roadways,
- ▶▶ pedestrian/equestrian/bike paths running internal to the project and connecting to local or regional system,
- ▶▶ a gated community,
- ▶▶ common area improvements such as a swimming pool, meeting rooms,

bathrooms, and common recreational facilities,

- ▶▶ development entry areas that are above average for the Coachella Valley (i.e., works of art, fountains, and so forth.),
- ▶▶ additional park acreage above what is required by the General Plan,
- ▶▶ landscaping and furnishings for parks,
- ▶▶ land and/or facilities for public needs such as schools, fire stations, and so forth, and
- ▶▶ any other amenity that makes the development unique in comparison to other similar developments in the Coachella Valley.

For all cases, the density bonuses allowed for such amenities are in addition to the bonuses allowed for low income and special needs housing (Policy LU-1.3).

- ▶ **Density Transfer.** If a major amenity such as a golf course is included in a project, the dwelling units that could have been built on the acres covered by that amenity may be transferred to the buildable portions of the project. Density transfers are only allowed in areas shown as Residential Planned Developments (RPD) on the Indio General Plan Land Use Overlay Diagram (see Figure 3.1-2). Please refer to Goal LU-2 for more information on RPDs and density transfers.

3.1.2 Residential

GOAL LU-1

To plan for a city with a diversity of residential opportunities and lifestyles to fit the current and future needs of Indio.

Policy LU-1.1

Definition of Density

All residential densities shall be based on a MGA basis. Density shall be calculated as follows:

$$\text{Density} = \text{Total Units/MGA}$$

Policy LU-1.2

Nonresidential Land Uses Allowed in All Residential Designations

Certain nonresidential land uses are considered to be compatible with residential uses and may be allowed in any residential district. The City's zoning code may require additional review for some land uses to insure that they are properly designed and will be compatible with existing or planned land uses.

Intensity

Subject to individual site review by staff.

Allowed Uses

- ▶ Agriculture
- ▶ Flood control facilities
- ▶ Public parks, trails, and other open space uses, including public and private golf courses
- ▶ Schools (grades K-12)
- ▶ Places of worship
- ▶ Day care facilities
- ▶ Convalescent care and skilled nursing care facilities
- ▶ Utility infrastructure (i.e., substations, and so forth)
- ▶ Public or private colleges or universities

Policy LU-1.3

Density Bonuses for Low Income and Special Needs Housing Developments

Any density bonuses allowed under this General Plan shall be in addition to bonuses allowed under state law to encourage the provision of housing for low income groups and special needs housing groups.

Policy LU-1.4

Equestrian Estates (EE)

The Equestrian Estates designation is intended to provide for the development of large lot estates and ranchettes. Homes developed in this designation will be allowed to keep horses and other large animals.

Intensity

	Threshold Density (du/ac)	Min. Lot Size (sq ft)	Max. Density (du/ac)	Min. Lot Size (sq ft)
<i>Area not in an RPD overlay</i>				
EE	0 - 2.0	20,000	2.0	20,000
<i>Area in an RPD overlay</i>				
EE	0 - 2.0	n/a	2.0	n/a

Allowed Uses

Single family detached residences. If an area designated EE is in an RPD overlay, developments in that area may include any use allowed in the RL designation (Policy LU-1.6) in addition to those allowed under this designation.

Location Criteria

This designation should be located in portions of the Planning Area removed from the City's core shopping and industrial areas. The EE designation should also be located so that equestrian uses have access to trails and are separated from nonequestrian designations. Major roadways, flood control, drainage systems, or canals make good buffers.

**Policy
LU-1.5**

Country Estates (CE)

The Country Estates designation is intended to encourage a range of large lot residential estates and equestrian oriented facilities.

Intensity

	Threshold Density (du/ac)	Min. Lot Size (sq ft)	Max. Density (du/ac)	Min. Lot Size (sq ft)
<i>Area not in an RPD overlay</i>				
CE	0 - 3.0	10,000	3.0	10,000
<i>Area in an RPD overlay</i>				
CE	0 - 3.0	n/a	3.5	n/a

Allowed Uses

Single-family detached residences. If an area designated CE is in an RPD overlay, developments in that area may include any use allowed in the RL and RM designations (Policies LU-1.6 and LU-1.7, respectively) in addition to those allowed under this designation.

Location Criteria

This designation should be located in portions of the Planning Area removed from the City's core shopping and industrial areas. This designation provides a good transition from suburban development to open space areas.

**Policy
LU-1.6**

Residential - Low Density (RL)

The Residential Low designation promotes single family residential development and variations in housing opportunities throughout the Planning Area.

Intensity

	Threshold Density (du/ac)	Min. Lot Size (sq ft)	Max. Density (du/ac)	Min. Lot Size (sq ft)
<i>Area not in an RPD overlay</i>				
RL	3.5	8,000	4.0	7,200
<i>Area in an RPD overlay</i>				
RL	3.5	n/a	5.0	n/a

Allowed Uses

Single-family detached residential units. If an area designated RL is in an RPD overlay, developments in that area may include any use allowed in the RM designation (Policy LU-1.7) in addition to those allowed under this designation.

Location Criteria

This designation should be located in portions of the Planning Area removed from the City's core shopping and industrial areas. Developments should be designed to provide a sense of place/ neighborhood. Easy access to neighborhood commercial uses should be provided.

**Policy
LU-1.7**

Residential - Medium Density (RM)

The Residential Medium designation allows for a range of detached and attached single-family units and low intensity multifamily residential units. This designation encourages greater housing diversity and acts as a transition zone between low density developments and higher density multifamily projects.

Intensity

	Threshold Density (du/ac)	Min. Lot Size (sq ft)	Max. Density (du/ac)	Min. Lot Size (sq ft)
<i>Area not in an RPD overlay</i>				
RM	6.0	n/a	8.0	n/a
<i>Area in an RPD overlay</i>				
RM	6.0	n/a	10.0	n/a

Allowed Uses

Detached and attached single-family units, and low density multifamily housing units. Unit types may include detached single-family, attached cluster units (including zero lot line developments, zipper lot configurations), duplexes, triplexes, fourplexes, townhomes, and stacked flats.

Location Criteria

This designation serves as a transition from single-family designations to higher density residential or commercial land uses. Locations should be on or near major arterials and bus routes, and within close proximity to shopping.

**Policy
LU-1.8**

**Residential-High Density
(RH)**

The Residential High designation allows multi-family developments of apartments, condominiums, and single-family attached units.

Intensity

	Threshold Density (du/ac)	Min. Lot Size (sq ft)	Max. Density (du/ac)	Min. Lot Size (sq ft)
<i>Area not in an RPD overlay</i>				
RH	10.0	n/a	20.0	n/a
<i>Area in an RPD overlay</i>				
RH	10.0	n/a	20.0	n/a

Allowed Uses

Townhomes, stacked flats, apartments, multistory senior housing.

Location Criteria

This designation is designed to serve as a transition from single-family and RM designations to commercial land uses. Locations should be on major arterials and near bus routes, and within close proximity to shopping and employment centers.

**GOAL
LU-2**

In portions of the Planning Area that have large amounts of undeveloped land under a few ownerships, provide the tools and flexibility to guide the development of these areas to achieve a range of housing opportunities with higher than average amenity packages. Areas requiring this added level of planning are designated with a Residential Planned Development (RPD) overlay designation unique to that area.

**Policy
LU-2.1**

**Conceptual Specific Plan
Requirement**

Any residential development defined as a major subdivision by the Subdivision Map Act that is within an RPD overlay shall be found to be consistent with an approved Conceptual Specific Plan (CSP) for the entire RPD in

which the project lies. Unless exempted below, project approval in an RPD is a two phase approach (see Figure 3.1-3).

- ▶ The first phase is the preparation of the CSP for the entire RPD overlay area. If an approved CSP does not exist, then one will need to be prepared prior to submittal of any individual project within that RPD (see "Components of a CSP" below).
- ▶ If the RPD in which the project lies has an approved CSP, then a Project Master Plan (PMP) for each individual project shall be prepared in order to document how the project will carry out the requirements of the CSP (see Policy LU-2.2).

Components of a CSP

All CSP's must contain the following information in addition to information required by state and local laws governing the contents of specific plans.

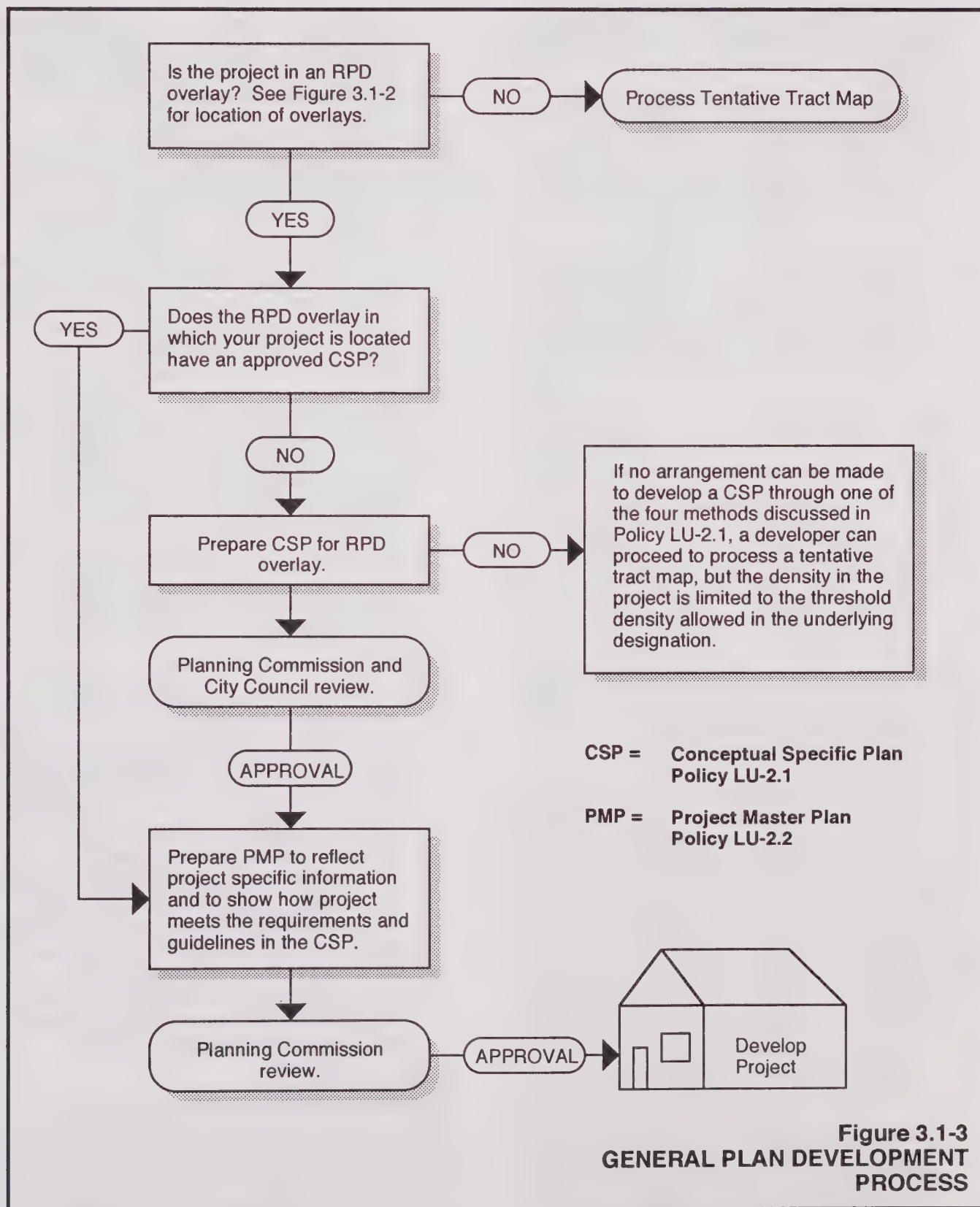
- ▶ **Land Use Plan.** This portion of the CSP shall discuss the distribution of units within the RPD by unit type and density. The plan will also include maps and text showing the proposed location for all land uses. The plan will also discuss the transfer of densities within the RPD (in accordance with Policy LU-2.3), and the derivation of the total units allowed in the RPD (in compliance with Policy LU-1.1).
- ▶ **Conceptual Design.** This portion of the CSP shall include a discussion of the overall design character for the RPD, master landscape plan (including plant palette), entry monumentation, wall/fence/utility screening concepts, and a discussion of how individual projects will be integrated with other projects in the RPD.
- ▶ **Master Circulation Concept.** This portion of the CSP shall show the arterials and collector level streets located within the RPD. Also included will be street cross-sections for local and private roadways not covered by the General Plan Circulation Diagram and Cross-Sections (Section 3.2).
- ▶ **Master Utility Concept.** This section shall show a conceptual layout of major trunk utility lines/pipes and utility infrastructure (i.e., substations, pump stations, and so forth)

needed to serve the RPD being planned. This plan shall also discuss consistency with any adopted City/District Infrastructure Master Plans that affect any portions of the RPD.

- ▶ **Master Flood Control Concept.** This plan shall show how off- and on-site flood flows will be handled throughout the RPD area. The level of detail shall be limited to discussion of the flood control concept, major trunk lines, and related facilities. A hydrologic study shall be included to demonstrate that the proposed infrastructure can handle expected flows. This plan shall also discuss consistency with any adopted City/District Infrastructure Master Plans that affect any portions of the RPD.
- ▶ **Recreation and Trails Plan.** This plan shall discuss the public and private recreation areas to be included in the RPD, including levels of improvement. Trails for pedestrians, equestrians, and bikes that tie all projects within the RPD to open space and recreational amenities shall be provided. Design standards for all trail types shall be included in the plan. This plan shall also discuss how the CSP's trails plan links into any adopted City Trails Master Plan.
- ▶ **Phasing Plan.** The specific plan shall contain a phasing plan showing the order and timing of development. This portion of the plan shall also document that sufficient infrastructure will be available to serve each phase of the CSP.
- ▶ **Environmental Assessments.** Proper environmental documentation will be needed at this stage prior to approval of the document by the Planning Commission and City Council. Most of the information needed to substantiate the environmental assessment will be covered under the Program EIR prepared for the General Plan, but site specific impacts that were outside the scope of the General Plan's EIR may require site specific analysis.

Preparation of a CSP

Properties within any given RPD are likely to be owned by several property owners, therefore, a range of methods for preparing this specific plan are allowed in order to ensure that all land owners have an opportunity to have input into the planning



**Figure 3.1-3
GENERAL PLAN DEVELOPMENT
PROCESS**

process. A CSP can be prepared by utilizing one of the following methods.

1. All of the landowners in an RPD may jointly prepare, or have prepared, the CSP for the RPD in which they own property. The resulting CSP can then be submitted for processing by the City.
2. A landowner(s)/applicant(s) can provide the City with full funding to prepare a third-party CSP. Future developments within the RPD will be assessed a fee equal to their fair share contribution of the document's costs.
3. The City may form an assessment district to fund the preparation of the CSP under the direction of the City.
4. The City Council may direct the preparation of the CSP utilizing funds available to the City. The City may create a mechanism to reimburse the City for these costs (i.e. a fee) based on a fair-share arrangement.

The above does not obligate the City to prepare or facilitate the preparation of such a specific plan if it is not in the best interests of the community. In any of the methods prescribed above, upon initiation of planning for a given RPD, all land owners within an RPD will be given notice of this action and provided with the opportunity to participate fully in the planning process.

In the event that a land owner wishes to develop in an area covered by an RPD overlay, and the above four methods can not be implemented, an applicant may submit a tentative tract map for the subject property(s) through the normal City approval process. The density allowed on such a tract map shall not exceed the threshold density for the underlying designation. The applicant will also need to discuss how infrastructure (water, sewer, flood control, and so forth) will be provided to the site, and how this will link into future regional systems.

**Policy
LU-2.2**

Project Master Plan (PMP)

A Project Master Plan (PMP) shall be required for any project within an RPD overlay. Unlike the CSP, which groups together landowners by their geographic location in order to develop a concept plan for an area, the size, shape, and number of parcels/landowners involved in a PMP is decided by the landowners themselves. A single landowner, or several working jointly, can prepare and submit a PMP.

Components of a PMP

The purpose of the PMP is to provide the City with a more detailed overview of the proposed project and to demonstrate that the requirements and guidelines within the CSP are incorporated into the design of each project. In addition to the typically required submittals (i.e., tract map, plot plan, and so forth), the PMP will contain a section for each of the CSP's required plans. These sections will provide maps, graphics, and text that demonstrate each project's approach to meeting the requirements and guidelines within the CSP. For example, the PMP will contain a section on design that will show the project's landscape plan, wall treatments, proposed entry statement, architectural elevations, and so forth.

Preparation of a PMP

The CSP covers a large area (an entire RPD) containing several landowners, and will likely be built out as a number of individual projects. Since the CSP covers many landowners, various means for preparing the required specific plan are available as specified in Policy LU-2.1. In comparison, the PMP only covers a single project within the RPD, and is therefore the second phase of planning within an RPD. Since the PMP is project specific, each landowner may plan their own properties, or a group of landowners may voluntarily join forces to plan a larger area as a single project. The PMP allows a project to contain several tentative maps.

**Policy
LU-2.3**

**Definition of Density
Transfer**

In preparing a CSP for any RPD overlay area, a change can be made in the application of density in return for the provision of major amenities within the RPD. This change is the ability to transfer density (i.e., dwelling

COMMUNITY DEVELOPMENT

units) from one part of the RPD to another part of the RPD. The ability to transfer densities is only allowed with an approved CSP, and then, the units to be transferred can only be moved within that RPD's boundaries.

Examples of a major amenity that could be used in a density transfer include golf courses, common equestrian facilities, and active recreation areas (parks, pools, and so forth). Density transfer can also be used to protect open space, agriculture, or sensitive resource areas. For example, the preservation of natural open space, or sensitive biological or cultural resources. Other land areas that can be transferred include flood control or seismic safety areas that are enhanced for use as open space. The use of density transfer is to encourage the development of communities with levels of design and amenities superior to what is typically found in a subdivision tract.

Density Transfer

All RPD areas are considered to be "overlay designations." That is, any land within an RPD area has an underlying land use designation such as RL or RM. For example, all of the land within RPD-1 has an underlying designation of RL. As defined in Policy LU-1.6, the threshold density for the RL designation within an RPD area is 3.5 units per acre with a maximum density of 5.0 units per acre.

Density transfer does not change the threshold or maximum densities allowed for a project, nor does it change the total number of units that can be built within a given RPD overlay. Density transfer simply provides a credit for the land occupied by a major amenity (as defined earlier in this Policy). If the CSP meets the above requirements, then all of the units that could potentially have been developed where the amenity is proposed may be transferred to the developable areas within that RPD.

The following example and table demonstrates the density transfer concept for a hypothetical project. The discussion that follows is numbered to correspond to the following table.

1. In the following example, all of the landowners within a given RPD have voluntarily joined together to plan the 400 acres (MGA) within the RPD (after elimination of acreage that will be within major roadways and other exclusions

as defined in Section 3.1.1). This RPD overlay has an underlying designation of RL.

Density Transfer (example only)

1. Gross acres	424
Minus flood cnt'l/arterials	- 24
Modified gross acres (MGA)	400
2. Threshold Density	3.5 du/ac
Maximum Density	5.0 du/ac
Allowed density for this RPD based on amenities proposed in the CSP.	5.0 du/ac
3. Total units allowed in RPD (400 ac x 5.0 du/ac)	2,000
4. Golf course (acres)	140
Potential units (140 x 5.0)	700

2. After review/consultation with the Community Development Department, it is determined that the project proposes sufficient amenities to exceed the threshold density of 3.5 du/ac, and that the maximum density of 5.0 du/ac is appropriate for the project.
3. Within the RPD, the total number of dwelling units allowed is calculated by multiplying the allowed density by the total acres (MGA). In this example, a maximum of 2,000 units will be allowed for the entire RPD.
4. For this project, the major amenity provided is a 140 acre golf course. If this golf course was not included, this 140 acres could have supported 700 dwelling units (140 acres times 5.0 du/ac). Using the density transfer, all 700 of these units may be transferred (added to) to the units to be built on other portions of the project (1,300 units). As shown in the example, even though a density transfer of 700 units was used, the total units built does not exceed the 2,000 units allowed in the RPD. Information on where units are to be transferred to in the RPD, and the type of units allowed must be specified in the CSP.

A condition of approval for all projects utilizing a density transfer described above shall require legal

documentation restricting the future use of the land that density was transferred from. This restriction will be in a form acceptable to the City. This document will need to restrict the land to the amenity use or open space use approved for a time period covering the life of the project.

**Policy
LU-2.4**

Residential Planned Development (RPD)

In addition to requiring a specific plan for development and providing tools to encourage enhanced amenities, each RPD may also have additional design parameters set to help guide the development within an RPD. These additional parameters include:

- ▶ **Character.** Some RPD's may have a parameter called character. This parameter is meant to help guide the preparation of the CSP so as to enhance the opportunities unique to that area. Table 3.1-2 provides a discussion of the character for each RPD overlay.

- ▶ **Other Allowed Land Uses.** All RPD's are allowed to have any land use allowed by the underlying designation. This includes any additional unit types allowed by a designation if it is within an RPD overlay. For instance, in an RPD overlay, the RL designation allows for unit types allowed in both the RL and the RM designations in order to facilitate potential density transfers.

Due to the level of planning done for projects in an RPD overlay, and the desire to create integrated neighborhoods that reflect the character of an area, other land uses may be allowed in certain RPD's that are not allowed in the underlying designation. Table 3.1-2 provides a summary of any additional land uses that may be allowed in a specific RPD.

Table 3.1-2

RESIDENTIAL PLANNED DEVELOPMENT GUIDELINES

RPD No.	Character	Other Allowed Land Uses
RPD-1	This RPD lies along the southern edge of the East Side Dike, which provides a natural corridor for trails and future access to open space. This area should form a transition from urban and suburban uses to open space.	▶ Equestrian stables, arenas, staging areas and other related facilities that take advantage of the adjoining open space areas and the recreational nature of the RPD. This does not allow the keeping of horses on individual residential lots.

Table 3.1-2

RESIDENTIAL PLANNED DEVELOPMENT GUIDELINES

RPD No.	Character	Other Allowed Land Uses
RPD-2	<p>This RPD area forms a residential "village" that is centered around the mixed use Village Core area shown on the Land Use Diagram. This focal point should be emphasized in the CSP by orienting the residential uses in the RPD towards the activities in the Village Core. Within the RPD, the movement of people should facilitate easy access to the Village Core.</p> <p>The Village Core area shall combine high density residential uses, neighborhood commercial uses, and a large community level park. Uses in this area shall facilitate the pedestrian and bicycle rider as a top priority, with automobile traffic reduced to a human scale.</p> <p>This RPD will also likely be home to a new high school campus to serve the Desert Sands Unified School District. This facility, if located in this RPD, should be sited to avoid conflicts with other land uses while providing easy access.</p>	<ul style="list-style-type: none"> ▶ Uses associated with a university campus including dormitory housing and limited commercial uses targeted at servicing the student and faculty population. ▶ The realignment of Jefferson Street impacts several properties along the west side of RPD-2. This impact causes 100 percent of the Jefferson Street right-of-way (ROW) to be withdrawn from this RPD instead of a typical half-width dedication. In addition, the curve in Jefferson Street bisects a property, leaving a small piece on the west side of Jefferson Street, separated from the main RPD. <p>For this RPD, the density lost from the additional half-width ROW on Jefferson Street can be transferred into the portion of RPD-2 on the east side of Jefferson Street for that portion where 100 percent of the ROW is taken from RPD-2. In addition, the remainder parcel on the west side of Jefferson Street that is in RPD-2 can transfer its density (units) at a rate of 7 du/ac into the portion of RPD-2 that is east of Jefferson Street.</p>

Table 3.1-2

RESIDENTIAL PLANNED DEVELOPMENT GUIDELINES

RPD No.	Character	Other Allowed Land Uses
RPD-3	<p>This RPD is sited just north of the largest commercial center in the Shadow Hills area, and is centered on Jackson Street. Utilizing the entrance at Jackson Street, this RPD will present a gateway to residential development to the north. As such, this intersection should be enhanced to provide a sense of entry to people traveling north on Jackson Street. The interface of this RPD with commercial uses on the south is vital to its success.</p> <p>This RPD is also oriented around Indio's public golf course. The expansion of this golf course and orientation of golf course homes is strongly encouraged.</p>	<p>► Uses associated with a university campus including dormitory housing and limited commercial uses targeted at servicing the student and faculty population.</p>
RPD-4	<p>This RPD area is at the eastern edge of the Planning Area, and adjacent to large open space areas to the north. This area should form a transition from urban and suburban uses to open space. This will be accomplished by a specific plan that provides for a variety of residential and recreational activities.</p>	<p>► Resort hotels, country clubs, golf clubs, and other recreational uses.</p> <p>► Equestrian stables, arenas, staging areas, and other related facilities that take advantage of the adjoining open space areas and the recreational nature of the RPD.</p>
RPD-5	<p>This large RPD lies along the western edge of the Planning Area in an area that has seen a recent increase in family oriented homes. This should continue in this area. Recreational amenities such as parks (above those required by Policy PR-1.1), and bike and pedestrian trails are strongly encouraged. Sites for day care centers are also encouraged in this RPD.</p>	<p>No additional land uses allowed.</p>
RPD-6	<p>This is an existing master planned development that includes a variety of housing types oriented around a golf course. Development of this area can continue with existing approvals without preparing a new specific plan(s). If the current entitlements expire, a new specific plan(s) would be required as specified in Goal LU-2.</p>	<p>No additional land uses allowed. Densities allowed under previous approvals shall apply to this property.</p>

Table 3.1-2

RESIDENTIAL PLANNED DEVELOPMENT GUIDELINES

RPD No.	Character	Other Allowed Land Uses
RPD-7	The character of this area is oriented around the world-class polo/equestrian facilities that form the core of the RPD. Equestrian uses and associated developments are considered to be an integral part of the countryside atmosphere which is to be protected and enhanced. Developments will be required to be designed in a manner which promotes the area's scenic characteristics and shall contain a minimum 25 percent of the land area for permanent open space.	<ul style="list-style-type: none"> ▶ Equestrian oriented events and facilities, resort and convention facilities, and public entertainment uses. ▶ Limited commercial activities which support the uses within the RPD. ▶ Accessory buildings such as stables, tack rooms, hay barns and other uses associated with a permitted use. ▶ Caretaker housing/quarters.

**Policy
LU-2.5**

Mobile Home/Recreational Vehicle Overlay.

This overlay is required for the development of a mobile home or recreational vehicle park. This includes all developments with spaces for sale, lease, rent or timeshare purchase that are used for the placement of manufactured housing units, mobile homes, and recreational vehicles.

With this overlay, the following densities are allowed:

	Threshold Density (du/ac)	Min. Lot Size (sq ft)	Max. Density (du/ac)	Min. Lot Size (sq ft)
MH	10.0	n/a	12.0	n/a

As allowed by state law, a mobile home can be placed on a residentially designated parcel as long as it meets the City's requirements/codes that apply for the development of any other residential unit.

3.1.3 Commercial

**GOAL
LU-3**

To plan for a range of commercial sites within the Planning Area to serve the needs of those living, working, and visiting Indio. These commercial areas will provide a range of commercial opportunities in line with the needs of the above groups, and will continue to develop Indio as the retail center of the Eastern Coachella Valley.

**Policy
LU-3.1**

Neighborhood Commercial (NC)

The Neighborhood Commercial designation provides for convenient small scale shopping and personal service uses in close proximity to residential neighborhoods. It is important for this designation to be located within walking distance to most of the residential neighborhoods it serves.

Intensity

Maximum lot coverage of 30 percent. A 10 acre minimum development/site is required.

Allowed Uses

Small shopping centers, local convenience markets, office uses, pharmacies, dry cleaners, barber shops, restaurants (excluding drive-thrus), and related activities.

Location Criteria

Neighborhood commercial centers shall meet the following location criteria.

- ▶ NC uses shall be distributed throughout the Planning Area and located along major roadways (those shown on the General Plan Circulation Diagram).
- ▶ Several centers may be clustered adjacent or across from each other on a roadway, but shall not be expanded in a "strip" type of development.
- ▶ Neighborhood shopping centers or clusters shall be at least 1 mile apart.

Policy LU-3.2

Community Commercial (CC)

The Community Commercial designation is intended to provide for general merchandising and retailing establishments that serve the needs of the residents of Indio. The range of services and merchandise will be greater than those found in neighborhood centers, and the service areas will be City-wide compared to neighborhood oriented.

Intensity

Maximum lot coverage is 30 percent. No minimum development/site size is required.

Allowed Uses

Shopping centers with a major anchor(s) such as a grocery, drug, or variety store; commercial entertainment such as movie theaters and bowling alleys; restaurants; banks; office uses; health clubs; auto related uses including service stations and auto repair/service; hotels and motels; conference/convention facilities; convenience commercial centers; commercial uses requiring outside storage

or display; new and used auto, truck, mobile home, recreational vehicle, and boat sales.

Location Criteria

Community commercial centers shall be located along major thoroughfares in the City. Master planned centers of 10 acres or more are preferred. Strip development that exists on Highway 111 and Jackson Street are allowed. The development of new strip commercial centers is highly discouraged unless constrained to this pattern by natural features.

Policy LU-3.3

Regional Commercial (RC)

The Regional Commercial designation is intended to provide for the development of large, full service retail and commercial center that will serve residents of Indio and the population in the eastern portion of the Coachella Valley.

Intensity

Maximum lot coverage is 40 percent. A 20 acre minimum development/site size is required.

Allowed Uses

Major shopping centers with several department stores, variety stores, food stores, professional office and financial institutions, community facilities, commercial entertainment (theaters, miniature golf, water park, batting cages, arcades), convention/visitor center, hotels and motels, restaurants, auto related uses including service stations and light auto repair, public or private college/university.

Regional Commercial developments should form master planned commercial areas that utilize shared parking and access, common design theme and signage plan and create a sense of place.

Location Criteria

Regional Commercial centers shall be located along major arterials, highways, and freeways that serve both local and regional traffic patterns. A Regional Commercial designation shall be clustered in a given location to provide at least 40 acres of adjoining properties to allow for the development of centers.

**Policy
LU-3.4**

Downtown Commerce (DC)

It is the intent of the Downtown Commerce designation to provide a wide range of allowed land use

types, reduce the number of conditional use approvals needed, and provide a set of on-site improvement requirements that are more in line with the character and needs of the downtown area. The objective of this designation is to revitalize the City's downtown area by encouraging full utilization in the short-term, and active reinvestment in the long-term.

Intensity

No maximum lot coverage standard. No maximum development/site size.

Allowed Uses

Any use allowed in the Neighborhood Commercial (Policy LU-3.1) and Community Commercial (Policy LU-3.2) designations. Other allowed uses include light industrial uses that have no outdoor storage. The following may also be allowed, subject to additional review/restrictions: street vendors, open air markets, and swap meets or similar uses that rent spaces to individual retailers within a single structure on site.

Location Criteria

The application of this designation shall be limited to the downtown portion of the City, roughly within a 1/2 mile radius centered around the existing Indio City Hall.

**Policy
LU-3.5**

Commercial Office (CO)

The Commercial Office designation promotes the development of professional offices and directly

related commercial services. The primary land use within this designation is office uses. Commercial is allowed as a component as long as the commercial entity is designed to serve primarily on-site office uses.

Intensity

Maximum lot coverage is 40 percent. No minimum development/site size.

Allowed Uses

Administrative and corporate offices, medical suites, real estate offices, financial and insurance services,

law offices, medical offices and clinics, government offices, other professional offices.

Location Criteria

The Commercial Office designation can be used as infill for small commercial lots that are adjacent to residential uses, and as a transition land use between commercial centers and residential land uses.

**GOAL
LU-4**

Provide additional guidelines for the development of key areas within Indio in order to encourage master planned commercial developments with a strong sense of identity and high levels of design. These areas will be designated with a Commercial Planned Development (CPD) designation unique to that area.

**Policy
LU-4.1**

**Coachella Valley
Government Center, CPD-1**

The City shall utilize all of the tools at its disposal, including the City's

Redevelopment Agency, in order to prepare a specific plan for the long-term redevelopment and revitalization of this area. The area contained within CPD-1 contains two major government centers: the Indio Civic Center, and the County Center and Desert ExpoCenter. The advantages offered by these two components shall be central to the plan for this area, and supporting commercial and office uses shall be developed to support these uses. As part of this specific plan, the City would like to see the following:

- ▶ CPD-1 is dominated by civic and small commercial uses. The emphasis of this area is on developing a civic center mall that is anchored on the north end by City government offices and facilities and on the south end by the County Center and ExpoCenter.
- ▶ In between these two government areas, the specific plan shall include a civic center park and pedestrian mall. The mall will emphasize pedestrian access, and will be bordered with

space for shops, restaurants, and office uses along both sides of the mall.

- ▶ Include linkages with the multimodal transportation center proposed for development in MPD-1 (see Policy LU-7.1).
- ▶ In areas surrounding the corridor, look to adaptive reuse to maintain the historic look of the downtown area. An illustration of this type of concept is included in Section 1 of this document.
- ▶ The goal in the downtown area will be to achieve higher occupancy levels through the Downtown Commerce (DC) land use designation in the near term. Associated with the DC designation is a reduction in conditionally approved land uses and a recognition of the urban design standards in the area.

Like the RPD's, CPD-1, and any future CPD areas will be specific planned in order to achieve a comprehensive plan for development or redevelopment of these areas. The components to be included in a required specific plan will be similar to those required by Policy LU-2.1, except that a recreation component will not be required.

GOAL LU-5

Provide additional guidelines for the development of medical centers needed to support the population in Indio and the surrounding region.

Policy LU-5.1

Medical Services (MS)

The City shall work closely with medical service providers in an MS overlay in order to facilitate the continued expansion and development of new medical services needed in the community and surrounding region.

In this overlay, allowed uses include those allowed in the underlying land use designation plus other treatment, research, and education services that are related to medical science. Typical uses in this overlay include hospitals, convalescent hospitals/skilled nursing facilities, medical laboratories, urgent

care facilities, rehabilitation clinics, and college/university campuses or classrooms.

3.1.4 Industrial

GOAL LU-6

To enhance the employment base of Indio through the provision of adequate lands dedicated to industrial use and to take advantage of the City's Enterprise Zone.

Policy LU-6.1

Business Park (BP)

The Business Park designation is intended to foster the development of professional office, light industrial, research and development, and support commercial uses within a master-planned environment. Where possible, a business park use should be designed in a campus setting, clustering buildings around a common pedestrian space.

Intensity

Maximum lot coverage of 40 percent. A 15-acre minimum development/site size is required.

Allowed Uses

Administrative and professional offices, financial institutions, hotel and convention uses, research and development facilities, light industrial (no outside storage), light industrial uses with limited retail activities, health and sports clubs, restaurants (excluding drive-thrus), business-oriented commercial, other retail and support commercial uses where it can be demonstrated that said commercial and/or retail activities are in close proximity to employment centers they seek to serve. An auto mall and related auto serving uses may also be allowed subject to the approval of a master plan for the project.

Location Criteria

The Business Park designation should be located near regional transportation links to provide users with access to the needed employment and customer base. Although a specific plan is not required, this designation should be used only where sufficient land is available so that a large, planned development can be achieved.

**Policy
LU-6.2**

Industrial Park (IP)

The Industrial Park designation is intended to permit more intensive types of industrial operations. This designation forecasts a master-planned industrial park where land uses are carefully located with respect to other uses, and where streets, setbacks, screening, landscaping, and activities such as outside storage occur within an overall concept.

Intensity

Maximum lot coverage of 50 percent. A 15-acre minimum development/site size is required.

Allowed Uses

Light industrial uses (outside storage allowed if screened from public right-of-way), administrative offices, distribution and trucking uses, assembly and other similar industrial uses.

Location Criteria

The Industrial Park designation should be located with convenient access to all forms of regional transportation including freeway, regional highways and railroad transportation. An IP designation should not adjoin a residential area unless separated by a major natural or physical feature (General Plan roadway, canal, and so forth).

**Policy
LU-6.3**

Manufacturing (M)

This designation permits the most intensive manufacturing activities within the General Plan. It is intended to allow for basic manufacturing activities, as well as ancillary uses to permitted manufacturing uses.

Intensity

No maximum lot coverage requirement. No minimum development size.

Allowed Uses

Railroad related loading and distribution activities, storage of component parts, assembly and manufacturing of parts for product creation, fabrication, warehousing, batch plants, and activities related to the distribution of manufactured goods and products.

Location Criteria

This designation should be located with convenient access to all forms of regional transportation including freeway, regional highways, and railroad transportation. Being the most intensive industrial land use category, the M designation should not adjoin a residential area unless separated by a major natural or physical feature (General Plan roadway, canal, and so forth) and be well screened.

**GOAL
LU-7**

Provide a development framework for the reuse of the areas within and adjacent to the railroad corridor that provides opportunities for the development of manufacturing, transportation, and commercial uses while maintaining the historic significance of the railroad center.

**Policy
LU-7.1**

Metro Center, MPD-1

The City shall work with the Southern Pacific Railroad and other land owners in MPD-1 to prepare a specific plan for the long-term use of this area, particularly the reuse of the railroad yards. As part of this specific plan, the City would like to see the following developments included in this area:

- ▶ The preservation and enhancement of historic structures, facilities and equipment in the railroad area. Encourage the development of a historic attraction highlighting the railroad's history in this portion of the Coachella Valley.
- ▶ Development of a regional multimodal transportation facility. This facility would connect automobile, bus, and train transportation modes.
- ▶ Development of an industrial base utilizing the advantages of the Coachella Valley Enterprise Zone and available transportation systems.

Like the RPD's, MPD-1, and any future MPD areas will be specific planned in order to achieve a comprehensive plan for development or redevelopment of these areas. The components to be included in a required specific plan will be the

same as those required by Policy LU-2.3, except that a recreation component will not be required.

3.1.5 Public Facilities

GOAL LU-8

To plan land areas for the provision of public and quasi-public services, such as schools, libraries, police and fire facilities, utilities, government centers, and other related facilities that are of a size and location to efficiently serve the current and future population of Indio.

Policy LU-8.1

Public (P)

The Public land use designation provides for a variety of public and quasi-public facilities which support the community and are operated by governmental agencies, utility providers, or non-profit organizations.

Intensity

Intensity of the use will be determined on a case-by-case basis based on the compatibility of the proposed use with existing or proposed uses surrounding the site. Compatibility will be determined based on items such as location of the use, type of use, design, size, and potential impacts on surrounding land uses.

Allowed Uses

Offices and support facilities for municipal, county, school system, district, state or federal functions, community centers, fire stations, police stations, post offices, public schools, libraries, community centers, corporate yards, hospitals, or other uses operated for the public's benefit by a governmental agency, or non-profit organization. For utilities, substations, switching stations, other communications facilities, pumping stations, well sites, reservoirs, canals and other infrastructure needed to support the Planning Area.

Location Criteria

Public land uses should be centrally located to serve the population targeted by the use.

3.1.6 Open Space

GOAL LU-9

To provide a range of active and passive recreational areas as well as provide areas for the preservation of the natural environment.

Policy LU-9.1

Open Space (OS)

The Open Space designation provides for the protection and preservation of sensitive environments, such as areas with threatened or endangered plant and wildlife species habitat, scenic resources, areas with significant topographic constraints, scenic viewsheds, and areas posing a threat to public safety. Limited single family residential uses may also be allowed in this designation, provided the structure or roadways are not sited on ridgelines or are visually impacting on viewsheds within the Planning Area. Recreation areas, both public and private, are also included in this category.

Intensity

Single family residential is allowed at a density of 1 unit per 20 acres (threshold and maximum density are the same). Density may be further constrained in areas having slopes greater than 15 percent (see Section 3.5, Community Design). The clustering of housing at the base of the Indio Hills is the preferred distribution, with the hillsides left in a natural state. Restrictions may be required that limit the use of lands outside the building pad in order to protect sensitive views and biological resources in the area.

The intensity of nonresidential facilities will be determined on a case-by-case basis based on the compatibility of the proposed use with existing or proposed uses surrounding the site. Compatibility will be determined based on items such as location of the use, type of use, design, size, and potential impacts on surrounding land uses.

Allowed Uses

Parks, maintenance buildings and storage facilities, restrooms, playground equipment, picnic tables and benches, recreation centers, equestrian facilities, camping areas, public pools, polo fields, lakes and other related facilities.

Stadiums, ballfields, and other similar uses with seating capacity of over 200 persons will not be allowed in a OS designation. These facilities are allowed in a CC and RC designation.

Location Criteria

Locations having significant physical or natural environment constraints, significant viewsheds, and areas having slopes over 15 percent. For recreational facilities, a distribution throughout the Planning Area is desirable in order to provide services near the residences being served.

Policy LU-9.2

Resource Recovery (RR)

This designation is intended to apply to land where recovery and/or reclamation activities are primary land uses. Sand and gravel extraction activities are anticipated to be major land uses.

Intensity

Intensity of the use will be determined on a case-by-case basis based on the compatibility of the proposed use with existing or proposed uses surrounding the site. Compatibility will be determined based on items such as location of the use, type of use, design, size, and potential impacts on surrounding land uses.

Allowed Uses

All uses in the RR designation will require the approval of a Conditional Use Permit (CUP) and mining and reclamation plan. Conditionally allowed uses include mining, sand or gravel extraction, and similar natural resource recovery uses. With an approved mining operation, additional uses may also be allowed by CUP. These include batch plants, asphalt plants, and other secondary processing of raw materials.

Location Criteria

The RR designation is limited to existing mining operations with valid use permits, or can be added to new areas as a General Plan amendment for areas designated by the State Geologist as MRZ-2

(see Section 4.7 of the ESR for a description). General Plan amendments for a RR designation must run concurrent with all other discretionary actions required for a mining/extraction facility.

RR designations should be well buffered from existing or proposed residential and commercial uses.

3.1.7 Mixed Use

GOAL LU-10

Provide areas in the community that encourage the combination of commercial, medium/high density residential, and active and passive open space uses within an area to create a vibrant village atmosphere dominated by pedestrian orientated land uses.

Policy LU-10.1

Village Core (VC)

The Village Core designation is intended to contain a mix of residential, commercial and recreational activities, and serve as the focal point for an RPD area. An area designated as Village Core should contain at least 40 acres of land, and contain one neighborhood commercial center, one community level park or sports center, and a mix of RM and RH residential land uses. These areas are intended to supply the immediate commercial needs of the surrounding residential communities, reducing the demand for commercial centers within the surrounding areas which will be primarily residential in nature.

This area will also provide a central location in which to base public uses potentially needed in the area, such as a fire station, police substation, or branch library.

Intensity

Residential intensity shall be the same as allowed under the RM and RH designations (Policies LU-1.7 and LU-1.8 respectively). The commercial intensity shall comply with that specified for the NC designation (Policy LU-3.1).

Allowed Uses

Residential component can contain any uses allowed in the RM and RH designations (Policies LU-1.7 and LU-1.8 respectively). The commercial component can contain any uses allowed by the NC designation (Policy LU-3.1). In this designation, the residential and commercial developments can be mixed within a single development, including residential units over commercial units.

Location Criteria

A Village Core designation should be centrally located among one or more RPD's so that the area can serve a population large enough to support the commercial uses allowed.

Policy LU-10.2

Mixed Use, Development Agreement [MU(DA)]

The Mixed Use, Development Agreement MU(DA) designation is designed to recognize existing mixed use projects that were approved by the City prior to the adoption of the updated General Plan, and to use these approvals as a framework for design of a larger mixed use development area.

The land uses, intensities, and design guidelines set out in Development Agreement 3 (Pacific Indio) shall be used as the basis for all future approvals within this designation. The goals and policies of the General Plan shall apply unless modified in Development Agreement #3 (Pacific Indio).

In the event that Development Agreement 3 or subsequent development agreements expire or are otherwise terminated, the area subject to such development agreement and shown as MU(DA) on the Land Use Diagram shall revert to a designation of MU(SP) for all undeveloped properties subject to such development agreement, and the parameters specified in Policy LU-10.3 shall apply.

Intensity

The intensity for all uses in this designation shall be the same as those specified in Development Agreement 3 (Pacific Indio).

Allowed Uses

The land uses allowed in this designation shall be the same as those specified in Development Agreement 3 (Pacific Indio), and these land uses

may be located anywhere within the boundaries of the project.

Location Criteria

This land use designation has been included to permit the continuation of the mixed use project referred to as Pacific Indio, and to include other adjacent lands that are directly related to this project, such as the Cover-Klein project site. This designation shall be limited to the area bounded by Jackson Street on the east, the Interstate 10 right-of-way on the south, extension of Madison Street on the west (as shown on the General Plan Circulation Diagram), and by Avenue 42 on the north.

Policy LU-10.3

Mixed Use, Specific Plan [MU(SP)]

The Mixed Use, Specific Plan MU(SP) designation is intended to allow for a mix of residential and commercial land uses. This designation will be used to allow persons to live close to employment opportunities, and to provide for a transition from higher intensity commercial uses to more traditional residential developments.

Intensity

Residential intensity (density) shall be the same as allowed under the RM and RH designations (Policies LU-1.7 and LU-1.8, respectively). The commercial intensity shall comply with that specified for the NC, CC, RC, and CO designations (Policies LU-3.1, LU-3.2, LU-3.3, and LU-3.5, respectively).

Allowed Uses

The residential component can contain any uses allowed in the RM and RH designations (Policies LU-1.7 and LU-1.8, respectively). The commercial component may contain uses allowed by the NC, CC, RC, or CO designations (Policies LU-3.1, LU-3.2, LU-3.3, and LU-3.5, respectively). In this designation, the various land uses can be intermixed within a single development, including residential units over commercial units, or can be planned as separate components within a single project.

Location Criteria

A MU(SP) designation should be located near a major transportation corridor to facilitate public transit, and should be used as a transitional designation to separate a large commercial or

industrial area from typical single family designations (i.e., EE, CE, RL, RM).

Specific Plan Criteria

Projects in a MU(SP) designation may require the preparation of a specific plan. The determination on whether a specific plan is required depends on several factors, including past approvals and project size. Table 3.1-3 provides an overview of each MU(SP) designation. This table discusses the character of the area that is to be met by the specific plan and individual projects within these designations, and also specifies when a specific plan is required.

Unless specifically modified in Table 3.1-3, MU(SP) areas may require both a conceptual design plan for each MU(SP) area (the entire numbered area, such as MU(SP-200)) as well as a specific plan for larger projects. In general, the following requirements will apply:

- ▶ The City will require design and landscape guidelines for MU(SP-200) and MU(SP-300).

- ▶ All projects within a MU(SP) designation that are over 15 acres (MGA) in size will require the preparation and approval of a specific plan. This specific plan shall be consistent with the approved design and landscape guidelines.
- ▶ All projects of 15 acres (MGA) or less can be processed as a plot plan, but the submittal will need to include design and landscape plans that are compatible with the approved guidelines developed for that MU(SP) designation.

Like the RPD's, the MU(SP) areas may require a specific plan in order to achieve a comprehensive plan for development of these areas. The components to be included in a required specific plan will be the same as those required by Policy LU-2.3, except that a recreation component will not be required.

Table 3.1-3

MU(SP) PARAMETERS

MU(SP) No.	Character	Specific Plan Criteria
MU(SP-100)	<p>MU(SP-100) represents the Monroe Street and Avenue 42 project that was approved by the City of Indio during the preparation of the General Plan. A full EIR was prepared for this project, and certified by the City.</p> <p>This project contains a mixture of office and commercial uses located along the north side of Avenue 42 on both sides of Monroe Street. This commercial mixed use center is in the primary gateway to the Shadow Hills area. Immediately north of this project are proposed residential land uses, so this area forms a transition from the regional commercial on Monroe Street at the I-10 Freeway and the proposed residential developments.</p>	<ul style="list-style-type: none"> ▶ Because of the recent review and approval of this project, and since an EIR was prepared, a specific plan for this site is not required, and the land use intensities approved for this project will remain as approved for the life of the approval and any subsequent extensions. In the event that the current approvals expire or are otherwise terminated, a specific plan for all remaining undeveloped properties within MU(SP-100) shall be prepared.

Table 3.1-3

MU(SP) PARAMETERS

MU(SP) No.	Character	Specific Plan Criteria
MU(SP-200)	MU(SP-200) will form a western gateway into the Shadow Hills area, as well as provide excellent freeway frontage for commercial uses. This area shall include a residential land use component, and provide a transition to residential land uses located north of this area. This area offers an excellent location for commercial recreation activities.	► Utilize specific plan criteria stated within this policy.
MU(SP-300)	This designation covers the western end of Highway 111, and provides a gateway into the community from the west. Developments in this area shall contain high levels of design and architecture and shall optimize the setback from Highway 111 for any new buildings.	► Utilize specific plan criteria stated within this policy.

3.1.8 Specific Plans

GOAL LU-11

Recognize the need for flexibility in design of large development projects, and allow the adoption of City or developer provided specific plans that will become the guiding document used in the approval of future projects within their boundaries.

Policy LU-11.1

Specific Plans (SP)

The Specific Plan (SP) designation is intended for those areas which, because of their location or

proposed land uses, require special design consideration and flexibility in the development of the property. These areas require additional site analysis and overall planning to address the constraints, opportunities and features of each site. It is intended that a specific plan designation will allow more flexibility in design and composition that will blend several different land use types into a single project.

This designation is also to be used for existing projects approved by the County of Riverside in the unincorporated portions of the Planning Area. These areas are designated on the General Plan Land Use Diagram as SP-#, where the "#" is replaced by the number assigned by the County. As the City approves specific plans under this designation, they will also be shown in the SP-# format.

Intensity

As specified in the approved Specific Plan.

Allowed Uses

As specified in the approved Specific Plan.

Location Criteria

Any area within the Planning Area.

LAND USE IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall prepare and adopt an interim strategy for implementing the new General Plan utilizing the City's existing zoning code.	All General Plan Policies	Community Development Department	3 months from adoption of the General Plan
2.0	The City shall prepare, or have prepared, a new Development Code (Zoning Code) that will implement the new General Plan.	All General Plan Policies	Community Development Department	1 year from adoption of the General Plan
3.0	Work with parties interested in the redevelopment of all or portions of CPD-1 to develop a specific plan for the area.	LU-4.1 LU-4.2	Community Development Department	Ongoing

LAND USE IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
4.0	The City will work with public transportation providers to develop a plan for a transportation hub in MPD-1. This will be a multi-step process involving many providers. The first step should be the development of passenger rail service from Indio.	LU-7.1	Community Development Department	2 years from adoption of the General Plan
5.0	All specific plan submittals shall be submitted with a fiscal evaluation of the project's impact on the City's revenues and expenditures both during development and at buildout of the project.	LU-2.1 LU-2.3 LU-4.1 LU-4.2 LU-7.1	Community Development Department, Finance Department	At time of specific plan submittal
6.0	The City shall prepare, or have prepared, design and landscape guidelines for MU(SP-200) and MU(SP-300).	LU-10.3	Community Development Department	6 months from adoption of the General Plan
7.0	The City shall maintain a current General Plan Land Use Diagram, including the overlay designations, and have copies of this diagram(s) available for public use or purchase. See also GOV-1.1.	All Land Use Policies	Community Development Department	Ongoing

3.2 CIRCULATION

3.2.1 Arterial Roadway System

GOAL CIR-1

Provide a circulation system to serve the internal circulation needs of the City, while also addressing the intercommunity or through travel needs.

Policy CIR-1.1

Level of Service

Maintain a minimum Level of Service "C" at all intersections during nonpeak hours and Level of Service "D" at all intersections

during peak hours to ensure that traffic delays are kept to a minimum.

Policy CIR-1.2

Roadway Standards

Establish roadway cross sections and standards that are adequate to ensure traffic safety.

Policy CIR-1.3

Residential Speed Limits

Preserve the quality of residential neighborhoods by maintaining the legally enforceable speed limits and by discouraging the flow of truck traffic and through traffic in these areas.

Policy CIR-1.4

Circulation System Financing

Establish financing programs which incorporate adequate funding for the City's roadway system.

Policy CIR-1.5

Pedestrian Friendly Systems

Establish street sections in residential neighborhoods and certain commercial areas that, while accommodating vehicular traffic, give preference to pedestrian users.

3.2.2 Public Transit/Trails

GOAL CIR-2

Accommodate alternatives to private automobile transportation that meet the needs of all City residents. See Figure 3.4-1 for location of major trails.

Policy CIR-2.1

Public Transportation

Require dedication and/or construction of appropriate facilities in support of a public transportation system.

Policy CIR-2.2

Bike Lane and Trails

Provide a circulation network that accommodates the safe and efficient movement of cyclists on bike lanes and bike trails.

Policy CIR-2.3

Pedestrian Walkways

Provide a system of sidewalks or pathways in residential and commercial areas that provides a safe environment for pedestrians.

Policy CIR-2.4

Equestrian/Pedestrian Trails

Provide for the development of equestrian and hiking trails in appropriate areas of the City.

3.2.3 Regional Transportation

GOAL CIR-3

Promote a regional transportation system that serves existing and future travel between Indio and other population and employment centers within the region.

Policy CIR-4.2

Public/Private Parking Facilities

Provide joint-use and public parking facilities where needed by special assessment districts or other mechanisms.

Policy CIR-3.1

Regional Transportation Facilities

Interface with appropriate jurisdictions and agencies to encourage the timely improvement of roadway and transit facilities which address areawide and regional travel needs.

3.2.5 Traffic Management

GOAL CIR-5

Manage peak hour traffic flow and demand on the circulation system to reduce traffic congestion where necessary and feasible.

3.2.4 Parking

GOAL CIR-4

Provide an adequate supply of private off-street and public parking to meet the needs of residents and visitors to the City.

Policy CIR-5.1

Travel Demand Management Program

Provide for the development and monitoring of Travel Demand Management (TDM) programs at locations where tripmaking is concentrated.

Policy CIR-4.1

Parking Requirements

Enforce and periodically update the zoning ordinance which specifies minimum parking requirements for various types of land use.

CIRCULATION IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0 Implement street standards and cross sections as shown on Figure 3.2-1 and 3.2-2, respectively.	CIR-1.1 CIR-1.2	Public Services Dept.	Development Review Ongoing

CIRCULATION IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
2.0 Require an adequate evaluation of potential traffic impacts associated with proposed new developments prior to project approval, and implementation of appropriate mitigation measures prior to or in conjunction with project development.	CIR-1.1 CIR-1.2	Public Services Dept. Community Development Dept.	Development Review Ongoing
3.0 Coordinate with Caltrans to implement necessary improvements at intersections where the agencies have joint jurisdiction.	CIR-1.1 CIR-1.2	Public Services Dept.	Ongoing
4.0 Periodically evaluate the Circulation Element roadway plan through utilization of the City of Indio Traffic Model. The model shall be updated every three years, or as needed.	CIR-1.1 CIR-1.2	Public Services Dept.	Ongoing
5.0 Identify and evaluate the major intersections requiring special design treatment to increase their vehicular capacity.	CIR-1.1	Public Services Dept.	Within 2 years of adoption of the General Plan
6.0 Minimize the number, properly space, and interconnect traffic signals in order to maximize progression and minimize the acceleration/deceleration that produces significantly higher vehicular emission and noise levels.	CIR-1.1 CIR-1.2 NOI-1.5 AQ-1.6	Public Service Dept.	Ongoing
7.0 Require new developments to be served by roads of adequate capacity and design standards to provide reasonable access by car, truck, transit, or bicycle.	CIR-1.2 CIR-2.2	Public Services Dept.	Development Review Ongoing
8.0 Discourage parking on all Augmented Arterial, Augmented Major (A and B), Arterial and Major roadways to increase the traffic capacity of these roadways and provide for bike lanes.	CIR-1.2 CIR-2.2	Public Services Dept.	Ongoing
9.0 Establish speed restrictions throughout the City that relate to the design and operating characteristics of roadways.	CIR-1.2	Public Services Dept.	Ongoing
10.0 Require that future roads and improvements to existing roads be designed to minimize conflicting traffic movements such as turning, curb parking, and frequent stops.	CIR-1.2	Public Services Dept. Community Development Dept.	Development Review Ongoing

CIRCULATION IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
11.0 Require that the development of new private driveways do not introduce significant traffic conflicts along General Plan roadway and collector streets.	CIR-1.2	Public Services Dept. Community Development Dept.	Development Review Ongoing
12.0 Require that pedestrian and vehicular traffic be separated to the maximum feasible extent.	CIR-1.2 CIR-1.5 CIR-2.2 CIR-2.3	Public Services Dept.	Ongoing
13.0 Establish an ongoing maintenance program to ensure the safety of the City's roadway system.	CIR-1.2	Public Services Dept.	Within 1 year of adoption of the General Plan
14.0 Enforce speed limits of 25 miles per hour in those areas defined by the California Vehicle Code as residential neighborhoods.	CIR-1.3	Public Services Dept. Police Department	Ongoing
15.0 Establish and enforce weight restrictions where necessary on routes traversing through residential neighborhoods.	CIR-1.3	Public Services Dept. Police Department	Within 1 year of adoption of General Plan
16.0 Review the design of all proposed new residential neighborhoods to ensure that "cut through" routes are minimized.	CIR-1.3	Public Services Dept.	Development Review Ongoing
17.0 Implement street widening and other circulation improvements which are related to new development in conjunction with the Capital Improvements Program.	CIR-1.4	Public Services Dept.	Within 2 years of adoption of General Plan

CIRCULATION IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
<p>18.0 Identify and evaluate potential local, revenue sources and viable state and federal funding sources for financing roadway system and development projects. The following is a partial list of transportation related funding sources/mechanisms which could be considered:</p> <ul style="list-style-type: none"> ▶ Development Impacts Fees (City and County/Developer) ▶ Integrated Financing District ▶ Assessment District/Community Funding Districts (City and County) ▶ Gasoline Taxes (State, County, and Local) ▶ Measure A Funds (RCTC) ▶ Office of Traffic Safety Special Grant Funds (State/Caltrans) ▶ Riverside County Local Transportation Fund (RCTC) ▶ Traffic Signal Mitigation Fees (City) ▶ City Taxes ▶ City Redevelopment Agency ▶ Developer Reimbursement Agreements (City/Developer) ▶ Quimby Fee (Developer) ▶ State Highway Account ▶ State Transit Assistance ▶ Federal Aid Interstate Funds ▶ Federal Aid Primary Funds ▶ Federal Aid Urban Funds ▶ Urban Mass Transit Authority Grants ▶ Intermodal Surface Transportation Efficiency Act (Federal) 	CIR-1.4	Public Services Dept. Finance Dept.	Once a year
<p>19.0 Coordinate with the SunLine Transit Agency to provide fixed route transit service along transportation corridors connecting to employment and commercial areas, health care facilities, and major recreation areas.</p>	CIR-2.1	Public Services Dept. Community Development Dept.	Ongoing
<p>20.0 Require construction of bus turnouts adjacent to new developments where transit demand levels may be sufficient in the future to warrant such accommodations.</p>	CIR-2.1	Public Services Dept. Community Development Dept.	Development Review Ongoing

CIRCULATION IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
21.0 Investigate and promote improved demand responsive transit services for elderly and disabled persons.	CIR-2.1	Public Services Dept.	Ongoing
22.0 Provide for express transit service through implementation of park-and-ride facilities along regional transportation corridors.	CIR-2.1	Public Services Dept.	Ongoing
23.0 Review site plans to determine if pedestrian access from the interior of new residential areas to public transit stops will be direct and convenient.	CIR-1.5 CIR-2.1	Public Services Dept. Community Development Dept.	Development Review Ongoing
24.0 Create a system of bicycle lanes within the street right-of-way to meet the needs of both the local and commuter cyclist. The lanes shall be designed for the safety of the cyclist (coordinate with the Master Plan of Trails in Implementation 30.0).	CIR-2.2	Public Services Dept.	Within 6 months of adoption of the General Plan
25.0 Adequate traffic control devices shall be provided for bicycle crossings.	CIR-2.2	Public Services Dept.	Within 2 years of adoption of the General Plan
26.0 Traffic signal phasing shall be made adequate for bicycle turning and straight-through movements.	CIR-2.2	Public Services Dept.	Within 2 years of adoption of the General Plan
27.0 Off-street bicycle trails should use open space corridors, flood control, and utility easements where possible. Such trails shall minimize automobile cross traffic.	CIR-2.2	Public Services Dept. Community Development Dept.	Development Review Ongoing
28.0 Review site plans to determine if residential, commercial and office land uses are designed for pedestrian access. Future developments shall contain an internal system of trails linking schools, shopping centers, and other public facilities with residences.	CIR-1.5 CIR-2.2 CIR-2.3	Public Services Dept. Community Development Dept.	Development Review Ongoing
29.0 Require the installation of wheelchair ramps on all new sidewalks and encourage their installation in older neighborhoods.	CIR-1.5 CIR-2.3	Public Services Dept.	Within 1 year of adoption of the General Plan

CIRCULATION IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
<p>30.0 The City shall form a Trails Committee to prepare and maintain a detailed Master Plan of Trails that locates pedestrian, biking, equestrian, and multi-purpose trails within the Planning Area. This Master Plan of Trails shall be adopted by the City as an amendment to the General Plan Circulation Element, and shall incorporate Section 3.4.3 and the trunk trails shown on Figure 3.4-1 of the General Plan. See also Implementation 95.0 in the Community Design subelement.</p> <p>The Master Plan of Trails shall also set standards for including multi-purpose trails on select public streets within or on the boundary of lands designated EE or CE.</p>	CIR-1.5 CIR-2.4	Public Services Dept. Community Development Dept.	Master Plan of Trails developed within 6 months of adoption of General Plan
31.0 Review site plans to ensure that the development of a trail system will not create unsafe situations for users.	CIR-1.5 CIR-2.4	Public Services Dept.	Development Review Ongoing
32.0 At the time of precise alignment studies, and in conjunction with the required environmental review, the City shall review trail proposals to determine the likelihood of potential impacts upon existing or planned development. Mitigation measures or alternatives will be implemented where appropriate and feasible.	CIR-2.4	Public Services Dept. Community Development Dept.	Development Review Ongoing
33.0 Motorcycles and other motorized vehicles shall be prohibited from using the trail system.	CIR-2.4	Public Services Dept. Police Dept.	Ongoing
34.0 Locate equestrian boarding centers in close proximity to the equestrian trail system.	CIR-2.4	Public Services Dept. Community Development Dept.	Development Review Ongoing
35.0 Require equestrian boarding centers to meet all minimum public health standards for food, shelter, and hygiene of animals.	CIR-2.4	Public Services Dept. Community Development Dept.	Ongoing
36.0 Support the update and completion of the Riverside County General Plan Circulation Element in response to the City General Plan Circulation Element.	CIR-3.1	Community Development Dept.	Ongoing

CIRCULATION IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
37.0 Actively pursue the improvements to existing interchanges within the City and construction of new overpasses as required to achieve the adopted service level standards.	CIR-3.1	Public Services Dept.	Ongoing
38.0 Enforce the parking ordinance and standard requirements such as necessary design features, the number of required handicapped parking spaces, etc. in conjunction with the parking ordinance.	CIR-4.1	Community Development Dept. Police Dept.	Ongoing
39.0 Pursue methods of encouraging the provision of increased on-site parking supply through a range of techniques including redevelopment activities.	CIR-4.1	Community Development Dept.	Within 1 year of adoption of General Plan
40.0 Require developers to provide adequate onsite parking and/or to contribute to a program to acquire and/or maintain off-site joint use facilities.	CIR-4.2	Community Development Dept.	Development Review Ongoing
41.0 Work cooperatively with developers and the business community to develop funding mechanisms for the construction of future parking facilities.	CIR-4.2	Community Development Dept.	Ongoing
42.0 Require transportation demand management plans to be submitted for preliminary review at the Specific Plan or Plot Plan stage of site development and submitted for final approval prior to the issuance of building permits, in accordance with the City's Transportation Demand Management Ordinance.	CIR-5.1	Community Development Dept. Public Services Dept.	Development Review Ongoing
43.0 Encourage the implementation of employer Travel Demand Management (TDM) requirements included in the Southern California Air Quality Management District's Regulation 15 of the Air Quality Management Plan.	CIR-5.1	Community Development Dept. Public Service Dept.	Ongoing
44.0 Establish a local Congestion Management Plan and monitor the performance and effectiveness of travel demand management programs within the Planning Area.	CIR-5.1	Community Development Dept. Public Service Dept.	Within 1 year of adoption of General Plan

CIRCULATION IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
<p>45.0 In order to allow for the proper planning and development of properties and roadways in the Shadow Hills area, the following engineering studies will be conducted under the auspice of the City of Indio Public Services and Community Development Departments, and in consultation with Caltrans:</p> <p>a. The design of Jefferson Street from its intersection with the I-10 Freeway north to Avenue 40, and the design of Avenues 41 and 42 from their intersection east of Jefferson Street to one-quarter mile west of Jefferson Street. The intersection configurations of Jefferson Street at the I-10 Freeway; Avenue 41 at Avenue 42; Avenue 42/"New" Varner Road at Jefferson Street; and Jefferson Street at Avenue 40 will be evaluated and designed.</p> <p>b. Evaluate the need for a bridge or a bridge and potential freeway interchange on Madison Street as it crosses the I-10 Freeway. If needed, prepare designs to reflect needed rights-of-way and to determine feasibility, alternatives, and financing plans.</p>	CIR-1.2 CIR-3.1	Community Development Dept. Public Services Dept.	Within 3 months of funding by landowners for study
<p>Upon completion, staff will make recommendations to the City Council on site specific circulation plans for these areas. These studies will be funded by impacted property owners.</p>			

CIRCULATION IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
47.0 The City shall develop a policy that will allow projects in areas with little surrounding development and low background levels of traffic to delay construction of the entire required cross-section until needed. The entire required right-of-way required by Figures 3.2-1 and 3.2-2 shall be obtained at time of project approval, and can not be modified in design by this policy. This policy shall only apply to roadways designated as an Augmented Major (A) or an Augmented Arterial on Figure 3.2-1.	CIR-1.2	Public Services Dept. Community Development Dept.	Within 6 months of adoption of the General Plan
48.0 The section of Madison Street between Avenue 49 and Avenue 50 shall not be constructed as a through street until the City has a need for this link in order to reduce traffic or increase public safety in the surrounding areas. All projects in this area will be required to dedicate the required right-of-way to develop the roadway type shown on Figure 3.2-1 and 3.2-2. These project will also have to guarantee construction, in a form acceptable to the Public Services Department, of the portion of Madison Street they would typically be required to construct with their project.	CIR-1.2	Public Services Dept. Community Development Dept.	Development Review, Ongoing

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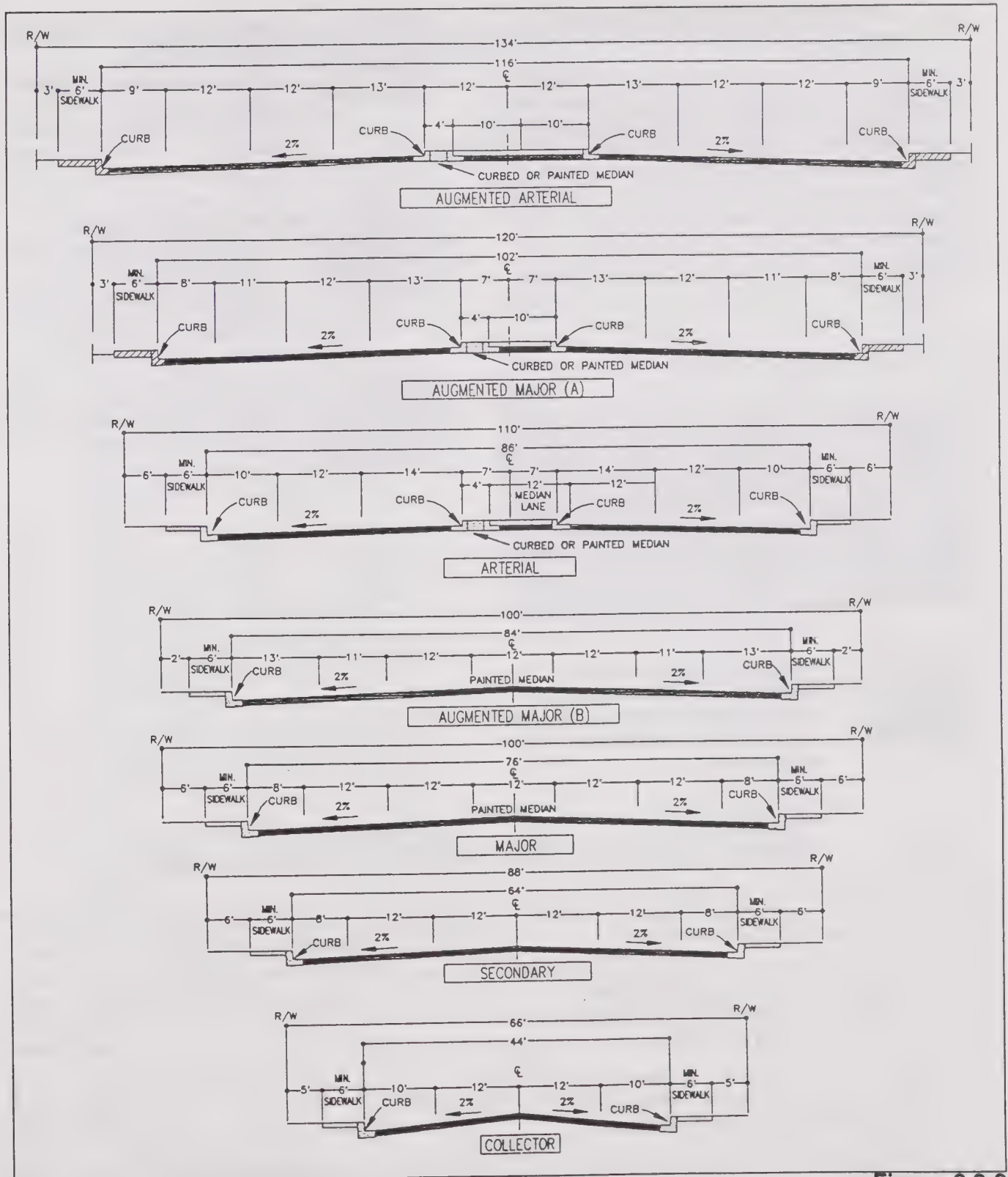


Figure 3.2-2
GENERAL PLAN ROADWAY CROSS SECTIONS

3.3 INFRASTRUCTURE/PUBLIC SERVICES

The goals and policies for Infrastructure/Public Services were developed in response to issues identified by the community. The following Infrastructure/Public Services goals and policies are intended to provide for the improvement, construction, expansion, and maintenance of public/private utilities and services that can adequately meet existing and future demand at buildout.

Policy DW-1.2

Funding for Water System Improvements

The City shall assure that adequate funding is available to improve existing and construct new water facilities.

Policy DW-1.3

Water Conservation

The City shall require that water conservation measures be implemented into all construction projects.

3.3.1 Domestic Water

GOAL DW-1

Provide for the planning and funding mechanism to construct, expand, and maintain water facilities (transmission, storage, distribution, and treatment) needed to meet current and future demand.

Policy DW-1.4

Reclaimed Water

The City shall encourage the use of reclaimed water.

Policy DW-1.1

Domestic Water Supply

The City shall provide an adequate supply of domestic water needed to meet current City demand and future developments.

DOMESTIC WATER IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall work with the Coachella Valley Water District (CVWD) to establish a water service area boundary.	DW-1.1	Public Services Dept.	Within 2 years of adoption of General Plan
2.0	The City shall create a new water pressure zone on the north side of Interstate 10 to adequately serve the Shadow Hills area.	DW-1.1	Public Services Dept.	Within 2 years of adoption of General Plan
3.0	The City shall extend water mains to the north side of Interstate 10 and construct an additional reservoir and pumping station to service future developments.	DW-1.1	Public Services Dept.	Within 5 years of adoption of General Plan

DOMESTIC WATER IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
4.0 The City shall develop a Water System Master Plan that provides an inventory of the existing system and outlines what facilities will be needed to adequately service future growth.	DW-1.1 DW-1.2	Public Services Dept.	Within 2 years of adoption of General Plan
5.0 The City shall implement water system improvements identified in the Capital Improvement Program.	DW-1.1	Public Services Dept.	Ongoing
6.0 The City shall annually review water service charges and fees to ensure that adequate funds are being charged and collected to expand and maintain the existing system and construct new facilities.	DW-1.2	Public Services Dept.	Once a year
7.0 The City shall work with USD and CVWD to develop water conservation guidelines for new developments and remodels.	DW-1.3	Public Services Dept. Community Development Dept.	Within 1 year of adoption of General Plan
8.0 The City shall promote the use of drought-tolerant plants and/or desert landscaping to conserve water.	DW-1.3	Public Services Dept. Community Development Dept.	Development Review Ongoing
9.0 The City shall develop a standard for constructing dual water pipes (potable and reclaimed) in commercial and industrial projects.	DW-1.4	Public Services Dept.	Within 2 years of adoption of General Plan
10.0 The City shall establish the boundaries for Phase II of the Shadow Hills Assessment District.	DW-1.1 DW-1.2	Public Services Dept.	Within 2 years of adoption of General Plan
11.0 The City shall construct a water reservoir and/or pumping station in the Indio Ranchos Area and extend water to properties.	DW-1.1	Public Services Dept.	Within 5 years of adoption of General Plan

3.3.2 Wastewater Collection and Treatment

GOAL WCT-1

Provide for the planning and funding mechanism to construct, expand, and maintain wastewater facilities (collection and treatment) needed to meet future demand.

Policy WCT-1.3

Facilities Funding

The City shall work with VSD and CVWD to assure that they have adequate funding available to maintain/improve existing and construct new sewer facilities.

Policy WCT-1.1

Adequate Service Capacity

The City shall work with Valley Sanitary District (VSD) and CVWD to ensure that an adequate wastewater collection and treatment

system is available to service current demand and future developments.

Policy WCT-1.4

Reclaimed Water

The City shall work with VSD and CVWD to pursue opportunities for the use of reclaimed wastewater.

Policy WCT-1.2

Treatment Plant Operations

The City shall work with VSD and CVWD to maintain and operate their wastewater facilities in a manner that does not jeopardize the public's health, safety, or welfare.

WASTEWATER COLLECTION AND TREATMENT IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who Is Responsible	Timeframe
1.0	The City shall work with VSD and CVWD to establish a wastewater service area boundary.	WCT-1.1	Public Services Dept.	Within 1 years of adoption of General Plan
2.0	In order to serve future needs and protect existing facilities from flood damage by the Whitewater River, the City shall work with VSD to determine when and if additional protection for the existing wastewater line or a new wastewater line crossing the Whitewater River channel is needed.	WCT-1.1	Public Services Dept.	Within 5 years of adoption of General Plan
3.0	The City shall work with VSD and CVWD to ensure that wastewater service is extended to all urbanized properties within the study area.	WCT-1.1	Public Services Dept.	Ongoing

WASTEWATER COLLECTION AND TREATMENT IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
4.0	The City shall work with VSD and CVWD to prepare a Sewer System Master Plan that provides an inventory of the existing system and outlines what facilities will be needed to adequately service future growth.	WCT-1.1 WCT-1.2	Public Services Dept. Engineering Dept.	Within 2 years of adoption of General Plan
5.0	The City shall work with VSD and CVWD to ensure that wastewater facilities are adequately sized to handle existing and future capacity.	WCT-1.1 WCT-1.2	Public Services Dept.	Ongoing
6.0	The City shall require that all properties in urbanized areas be connected to the sewer system.	WCT-1.1	Public Services Dept.	Development Review Ongoing
7.0	The City shall consult with VSD and CVWD to annually review current fee and assessment schedules to ensure that adequate funds are being charged and collected to maintain the existing system and construct new facilities.	WCT-1.3	Public Services Dept. Finance Dept.	Once a year
8.0	The City shall work with VSD and CVWD to create special improvement districts to provide funding for wastewater treatment and collection facilities.	WCT-1.3	Public Services Dept.	Within 2 years of adoption of General Plan
9.0	The City shall work with VSD and CVWD to use treated wastewater for irrigation of public areas such as parks, medians, and golf courses.	WCT-1.4	Public Services Dept.	Within 5 years of adoption of General Plan
10.0	The City shall work with CVWD to construct a lift station and sewer line extension across Interstate 10 in the vicinity of Burr Street.	WCT-1.1	Public Services Dept.	Within 5 years of adoption of General Plan
11.0	The City shall work with VSD and CVWD to extend wastewater service to the Indio Ranchos area.	WCT-1.1	Public Services Dept.	Within 5 years of adoption of General Plan
12.0	The City shall work with VSD and CVWD in setting the boundaries of Phase II of the Shadow Hills Assessment District.	WCT-1.1 WCT-1.3	Public Services Dept.	Within 1 year of adoption of General Plan

WASTEWATER COLLECTION AND TREATMENT IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
13.0 The City shall establish a minimum lot size, in nonurban areas, to adequately utilize a septic system.	WCT-1.1 WCT-1.2	Public Services Dept. Community Development Dept.	Within 6 months of adoption of General Plan
14.0 The City shall work with VSD and CVWD in developing pretreatment (point source) for industrial wastewater pursuant to EPA General Pretreatment Regulation.	WCT-1.2	Public Services Dept.	Ongoing
15.0 The City shall work with VSD in developing plans and financial strategies for rehabilitating, or replacing deteriorated and undersized wastewater collection lines in areas needing redevelopment.	WCT-1.3	Public Services Dept.	Within 2 years of adoption of General Plan

3.3.3 Storm Drain

GOAL SD-1

Provide for the planning and funding mechanism to construct, expand, and maintain storm drain facilities needed to protect existing and future development.

Policy SD-1.2

Facilities Funding

The City shall assure that adequate funding is available to improve existing and construct new storm drain facilities.

Policy SD-1.1

Adequate Facilities

The City shall provide storm drain facilities with sufficient capacity to protect the public and property from stormwater damage.

Policy SD-1.3

Facilities Management

The City shall manage flood control facilities in accordance with local, state, and federal guidelines.

STORM DRAIN IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0 The City shall develop a coordinated Flood Control System Master Plan that provides an inventory of the existing system, flood routing studies, and a prioritized list of needed improvements.	SD-1.1 SD-1.3	Public Services Dept.	Within 2 years of adoption of General Plan
2.0 The City shall construct storm drain facilities identified in the Capital Improvements Program.	SD-1.1	Public Services Dept. Finance Dept.	Ongoing
3.0 The City shall develop and implement a routine maintenance program for existing storm drain facilities to ensure their proper functioning.	SD-1.1 SD-1.3	Public Services Dept.	Within 2 years of adoption of General Plan
4.0 The City shall work with CVWD to define storm drain service area boundaries.	SD-1.1 SD-1.2	Public Services Dept.	Within 1 year of adoption of General Plan
5.0 The City shall restrict development of habitable structures within watercourse and/or other stormwater facilities unless adequate mitigation measures are implemented.	SD-1.1	Public Services Dept. Community Development Dept.	Development Review Ongoing
6.0 The City shall allow flood control facilities to be developed in conjunction with compatible recreational facilities or other land uses that are not susceptible to flood damage.	SD-1.1 SD-1.3	Public Services Dept. Community Development Dept.	Development Review Ongoing

STORM DRAIN IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
7.0 The City shall require all new developments to retain project generated stormwater runoff onsite until such time that adequate offsite facilities are constructed.	SD-1.1	Public Services Dept.	Development Review
8.0 The City shall annually review flood control service charges and fees to ensure that adequate funds are being charged and collected to upgrade the existing system and construct new facilities.	SD-1.2	Public Services Dept. Finance Dept.	Once a year
9.0 The City shall identify and recommend for the purchase of properties that are needed for the construction of flood control facilities.	SD-1.1	Public Services Dept. Finance Dept.	Within 3 years of adoption of General Plan Ongoing
10.0 The City shall work with CVWD to finance and construct regional facilities that are beneficial to the community.	SD-1.2	Public Services Dept.	Ongoing
11.0 The City shall work with CVWD to create Special Improvement Districts to assess property owners for their "fair share" to construct new storm drain facilities.	SD-1.1 SD-1.2	Public Services Dept. Community Development Dept.	Within 2 years of adoption of General Plan Ongoing
12.0 The City shall continue to adopt and promote flood safety standards set forth by the Federal Emergency Management Agency (FEMA) in areas which are susceptible to flooding.	SD-1.1 SD-1.3	Public Services Dept.	Ongoing
13.0 The City shall work with CVWD, U.S. Army Corps of Engineers, and the Bureau of Reclamation to continue to conduct flood control studies and construct new improvements within the Coachella Valley Basin that have a direct benefit for the community.	SD-1.1 SD-1.3	Public Services Dept.	Ongoing
14.0 The City shall develop a Stormwater Management Plan that complies with the National Pollutant Discharge Elimination System (NPDES) permit as required by the State Water Control Board.	SD-1.1	Public Services Dept.	Within 6 months of adoption of General Plan
15.0 The City shall identify and protect sensitive streams and watercourses that have biological and/or aesthetic significance.	SD-1.1 BIO-1.3	Community Development Dept. Public Services Dept.	Within 1 year of adoption of General Plan

STORM DRAIN IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
16.0 The City shall work with CVWD to finalize the design of the extension of the Thousand Palms Wash.	SD-1.1	Public Services Dept.	Within 1 year of adoption of General Plan

3.3.4 Electric

**GOAL
ELC-1**

Provide sufficient electrical service that is safe and cost efficient to support existing and future demand.

**Policy
ELC-1.2****Safe Facilities**

Ensure that electrical facilities are safe and nonintrusive to the community.

**Policy
ELC-1.1****Adequate Service Capacity**

Ensure adequate, low-cost electricity is available to service current demand and future developments.

ELECTRIC IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall upgrade the existing street lighting system in areas determined to be inadequate.	ELC-1.1	Public Services Dept.	Within 5 years of adoption of General Plan
2.0	The City shall develop a comprehensive street lighting plan that includes identifying decorative street lamps for all public streets.	ELC-1.1	Public Services Dept.	Within 1 year of adoption of General Plan
3.0	The City shall work with Imperial Irrigation District (IID) to construct a substation north of Interstate 10 to serve future developments in the Shadow Hills area.	ELC-1.1	Public Services Dept.	Within 5 years of adoption of General Plan
4.0	The City shall work with IID to create special districts to fund improvements to the street light system.	ELC-1.1	Public Services Dept.	Within 2 years of adoption of General Plan
5.0	The City shall through its zoning code, establish requirements to underground electric distribution lines less than 92 kV.	ELC-1.2	Public Services Dept.	Development Review Ongoing
6.0	The City shall encourage IID and Southern California Edison (SCE) to study the short- and long-term effects on the public of electromagnetic fields produced by high-voltage electrical facilities.	ELC-1.2	Public Services Dept.	Ongoing

ELECTRIC IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
7.0 The City shall direct IID and SCE to consider the health, safety, and welfare of the public when establishing the location of future high-voltage corridors.	ELC-1.2	Public Services Dept. Community Development Dept.	Ongoing
8.0 The City shall encourage IID to develop alternate energy sources and conservation guidelines and standards.	ELC-1.2	Public Services Dept. Community Development Dept.	Ongoing
9.0 The City shall require that landscaping or other design elements be installed along above ground electrical lines to soften the appearance and visual impacts.	ELC-1.2	Public Services Dept. Community Development Dept.	Development Review
10.0 The City shall encourage IID to provide rebate programs for the installation of energy efficient appliances.	ELC-1.2	Public Services Dept. Community Development Dept.	Ongoing

3.3.5 Gas

GOAL GAS-1

Provide sufficient gas service that is safe and cost efficient to support existing and future demand.

Policy GAS-1.1

Adequate Service Capacity

The City shall work with Southern California Gas Company (SCG) to ensure that adequate, low-cost gas service is available to meet existing demand and service future projects.

GAS IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall work with SCG to extend gas service north of Interstate 10 as development occurs.	GAS-1.1	Public Services Dept.	Ongoing
2.0	The City shall direct SCG to consider the health, safety, and welfare of the public when establishing the location of high-pressure gas lines.	GAS-1.1	Public Services Dept.	Ongoing
3.0	The City shall encourage SCG to continue developing conservation guidelines and standards.	GAS-1.1	Public Services Dept. Community Development Dept.	Ongoing

3.3.6 Telephone/Telecommunications

GOAL TEL-1

Provide sufficient telephone services to support existing and future demand.

Policy TEL-1.2

Placement of Corridors

The City shall consider the visual impacts associated with the placement of telecommunication facilities.

Policy TEL-1.1

Adequate Service Capacity

The City shall work with General Telephone (GTE), various long distance telephone companies, and telecommunication companies to

ensure that adequate telephone service and telecommunication services are available to meet current and future demand.

TELEPHONE/TELECOMMUNICATIONS IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall work with GTE to continuously upgrade the existing telephone system to provide the community with the latest telephone technology.	TEL-1.1	Public Services Dept.	Ongoing
2.0	The City shall work with Colony Cablevision and/or other cable franchises to ensure that television programming is satisfactory to the community.	TEL-1.1	City Manager	Ongoing
3.0	The City shall work with telephone and Cable TV providers to extend their lines across Interstate 10 and the Coachella Storm Water Channel to service properties to the north.	TEL-1.1	Public Services Dept.	Ongoing
4.0	The City shall work with cellular telephone providers to identify more cell sites in the area in order to extend their services throughout the region.	TEL-1.1	Public Services Dept. Community Development Dept.	Ongoing
5.0	The City shall require that new telecommunication facilities be placed underground unless undergrounding of certain facilities is determined to be infeasible due to excessive cost, environmental, or other constraints.	TEL-1.2	Public Services Dept. Community Development Dept.	Development Review Ongoing

TELEPHONE/TELECOMMUNICATIONS IMPLEMENTATION MEASURES

Implementation Measure		Implements What Policy	Who is Responsible	Timeframe
6.0	The City shall require that cellular antennas, radio towers, microwave, and satellite dishes be located adjacent to compatible land uses and screened from public view or buffered with suitable landscaping to the extent possible.	TEL-1.2	Community Development Dept.	Development Review Ongoing

3.3.7 Solid Waste

GOAL SW-1

Provide for the efficient collection, disposal, recycling, and reuse of solid waste.

Policy SW-1.1

Adequate Services

The City shall work with Waste Management of the Desert, Western Waste Industries, and the Coachella Valley Disposal Company to ensure low-cost refuse disposal is available for residential, industrial and commercial properties.

SOLID WASTE IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall work with disposal companies to expand curbside recycling services throughout the community.	SW-1.1	Community Development Dept. Public Service Dept.	Ongoing
2.0	The City shall work with disposal companies to develop household hazardous waste cleanup projects.	SW-1.1	Community Development Dept. Public Services Dept. Fire Dept.	Ongoing
3.0	The City shall create and sponsor cleanup days for public places and neighborhoods.	SW-1.1	Community Development Dept. Public Services Dept.	Twice a year
4.0	The City shall develop educational programs to explain the benefits of recycling and encourage community participation.	SW-1.1	Community Development Dept.	Within 2 years of adoption of General Plan

COMMUNITY DEVELOPMENT

3.4 COMMUNITY SERVICES

Community Services provide basic needs to the community as a whole and play a vital role in the day to day lives of residents. These services act as a support system for the community and should be tailored to the needs of those they serve. Education, health care, recreation, and library services to the community are included. This section of the General Plan identifies and provides for the anticipated future needs of the community.

3.4.1 Schools

Education has become an increasing concern for parents and citizens. The majority of the Planning Area is served by the Desert Sands Unified School District. A portion of the Planning Area located in the south is served by the Coachella Valley Unified School District. Some schools have experienced crowding, and many are using modular units to increase their capacity. Funding for public schools is becoming increasingly scarce, and school districts are often forced to look for alternative financing, such as Mello-Roos districts or developer fees.

GOAL SCH-1

Provide appropriate school facilities to adequately serve the population.

Policy SCH-1.1

School Site Selection

The City shall ensure that schools are developed on the appropriate sized parcels in locations that best serve the population.

Policy SCH-1.2

School Facility Financing

The City shall work with the school district(s) to ensure that adequate funding is available to provide school facilities and services that meet the needs of the existing and future population.

Policy SCH-1.3

School District Boundaries

The City shall consider the redistricting of school service boundaries into a single school district to service the Planning Area.

Policy SCH-1.4

School Safety

The City shall provide for a safe and secure learning atmosphere at all schools in the Planning Area.

GOAL SCH-2

Encourage the development of higher education facilities to service the community and the surrounding region.

Policy SCH-2.1

Community College

The City shall work with the College of the Desert (COD) to facilitate the location of a branch campus in the Planning Area.

Policy SCH-2.2

Vocational Schools/Training

The City shall encourage the development of other institutions of higher education and professional/ trade schools in the Planning Area.

SCHOOL IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0 The City shall coordinate, with the appropriate school district(s), the review of development proposals to assess the need for additional facilities and determine construction financing and phasing of new schools.	SCH-1.1	Community Development Dept.	Development Review Ongoing
2.0 The City shall include a representative from the appropriate school district(s) on the Project Review Committee to ensure that input from the school district(s) is provided early in the planning stages of a project.	SCH-1.1	Community Development Dept.	Within 1 year of adoption of General Plan
3.0 The City shall work with the school district(s) to ensure that adequate developer fees are collected in accordance with state law.	SCH-1.2	Community Development Dept.	Ongoing
4.0 The City shall consider both the short- and long-term advantages and disadvantages to the public of creating any special funding districts for the construction of school facilities.	SCH-1.2	Community Development Dept.	Ongoing
5.0 The City shall meet with the Desert Sands and Coachella Valley Unified School Districts to determine the feasibility of having only one school district to serve the Planning Area.	SCH-1.3	Community Development Dept.	Within 2 years of adoption of General Plan
6.0 The City shall require that security measures be implemented into the design of school facilities in accordance with police department procedures and guidelines.	SCH-1.4	Community Development Dept. Police Dept.	Development Review Ongoing
7.0 The City shall work with the school district(s) and police department to create community watch groups to report crimes committed on or around school campuses.	SCH-1.4	Community Development Dept. Police Dept.	Within 1 year of adoption of General Plan
8.0 The City shall support law enforcement efforts that decrease criminal acts committed against students on school campuses and the destruction of school property.	SCH-1.4	Community Development Dept. City Manager	Ongoing

COMMUNITY DEVELOPMENT

SCHOOL IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
9.0 The City shall assist higher education providers in locating appropriate sites to establish their schools in areas that are beneficial to the community.	SCH-2.1 SCH-2.2	Community Development Dept. City Manager	Ongoing
10.0 The City shall develop a marketing program to attract professional and trade schools to expand their services into the area.	SCH-2.2	City Manager	Within 1 year of adoption of General Plan
11.0 The City shall support the efforts of other public agencies and social services groups in providing special training and educational opportunities to members of the community.	SCH-2.2	Community Development Dept. City Manager	Ongoing
12.0 The City shall encourage nursing and other medical field-related professional training facilities in relation to the J.F. Kennedy Memorial Hospital.	SCH-2.2	Community Development Dept.	Development Review Ongoing

3.4.2 Health Care Services

The provision of health care services to all segments of the community is an important concern for the community. The needs for elderly, children, disabled, migrant worker, and other sectors can vary widely. The type of health care service can also vary from routine medical examinations and dental visits, to emergency care, psychiatric treatment, hospital visits, and so forth. It is important that a wide range of medical services be available to residents and workers in, and visitors to both the Planning Area and surrounding communities.

Currently, the Planning Area includes a broad range of health care services, including private practice physicians, a full-service medical facility, and two publicly funded health care clinics.

GOAL HC-1

Provide a complete range of medical services to fill the needs of all sectors of the population within the community as well as the surrounding region.

Policy HC-1.1

Diversity of Health Care Services

The City shall encourage a diverse range of medical service facilities, including public and private hospitals, medical clinics, emergency care facilities, convalescent hospitals, and specialized private practitioners.

Policy HC-1.2

Location of Major Health Care Facilities

The City shall encourage the development of major health care facilities in large areas specifically planned for medical service providers.

Policy HC-1.3

Location of Routine Health Care Facilities

The City shall distribute throughout the Planning Area land use designations that allow medical service facilities.

HEALTH CARE SERVICES IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	Every 5 years, the City shall conduct a public survey on the medical needs of the community to determine if the range of medical services provided meets the needs of the community.	HC-1.1	Community Development Dept.	Within 5 years of adoption of General Plan
2.0	The City shall support future expansion plans for J.F. Kennedy Hospital through the development review process.	HC-1.2	Community Development Dept.	Development Review Ongoing
3.0	The City shall create development guidelines for the medical service overlay designations.	HC-1.2 HC-1.3	Community Development Dept.	Within 2 years of adoption of General Plan

HEALTH CARE SERVICES IMPLEMENTATION MEASURES

Implementation Measure		Implements What Policy	Who is Responsible	Timeframe
4.0	Development guidelines and standards shall be created to allow for the establishment of routine medical facilities (dental, optometry, chiropractor, urgent care, and so forth) to be located in close proximity to residential and commercial area.	HC-1.3	Community Development Dept.	Within 2 years of adoption of General Plan
5.0	The City shall allow for the development of medical support services (supply stores, pharmacies, restaurants, etc.) in close proximity to medical facilities.	HC-1.2 HC-1.3	Community Development Dept.	Within 2 years of adoption of General Plan

3.4.3 Parks and Recreation

Park and recreational areas provide an important service for people of all age groups. Whether they are used for active recreational purposes or visual relief, parks make up an important part of neighborhoods and the community as a whole. Parks and recreational activities not only provide places to play and enjoy recreational activities but also provide spaces for neighbors to interact on neutral territory and provide a sense of community.

The City of Indio and the Coachella Valley Recreation and Park District (CVRPD) are responsible for parks and recreation facilities. The City owns and maintain parks, and CVRPD provides recreational activities. Currently, the City has approximately 220 acres of recreational facilities. Neighborhood and community parks within the Planning Area consist of 55 acres. Based on a 1992 population of 40,378, the City's acres of parkland to 1,000 population ratio is 1.4.

GOAL PR-1

Provide a variety of recreational opportunities to serve the needs of all segments of the population.

Policy PR-1.1

Parkland Acreage

The City shall work to achieve a ratio of 3 acres of parkland per 1,000 population.

Policy PR-1.2

Park Site Selection

The City shall ensure that parks are developed on the appropriate sized parcels in locations that best serve the community.

Policy PR-1.3

Park Financing

The City shall assure that adequate funding is available to improve and maintain existing parks as well as construct new facilities.

Policy PR-1.4

Recreational Activities and Park Amenities

The City shall promote the development of park facilities that allow for both active and passive, as well as commercial, recreation.

PARKS AND RECREATION IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0 The City shall require that the appropriate amount of parkland dedication or in-lieu fees are collected as development occurs in order to construct new parks and maintain existing facilities.	PR-1.1 PR-1.3	Community Development Dept. Public Services Dept.	Development Review Ongoing
2.0 The City shall encourage the development of parks with active recreational amenities such as ball fields, tennis courts, basketball courts, and playground equipment.	PR-1.4	Community Development Dept.	Ongoing

PARKS AND RECREATION IMPLEMENTATION MEASURES

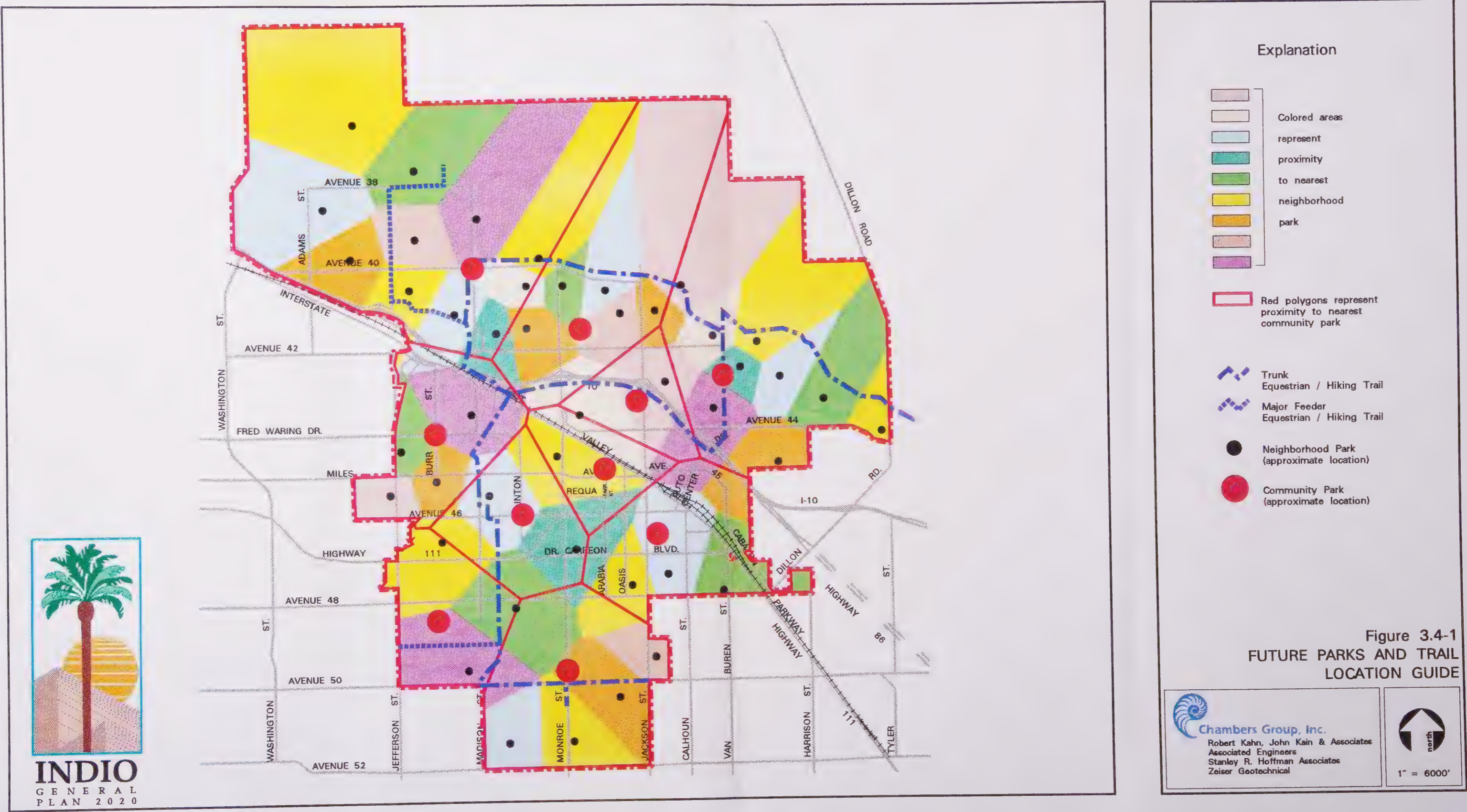
Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
3.0 The City shall allow for commercial recreational centers, such as bowling alleys or batting cages, to be developed in commercial centers throughout the community.	PR-1.2 PR-1.4	Community Development Dept.	Within 2 years of adoption of General Plan
4.0 The City shall promote recreational activities for children, teens, seniors, and families.	PR-1.4	Community Development Dept.	Ongoing
5.0 The use of well sites as parks shall be permitted if the site is adequately sized to contain, at a minimum, playground equipment and picnic areas with attractive landscaping. Any area not available for public recreation use shall not be included in parkland acreage calculations.	PR-1.1 PR-1.2	Community Development Dept. Public Services Dept.	Development Review Ongoing
6.0 The Police Department shall be given the opportunity to comment on the location and design of all parks with regard to security and safety.	PR-1.2	Community Development Dept. Police Dept.	Development Ongoing
7.0 The City shall meet with the school district(s) to discuss joint use of schools and park facilities.	PR-1.2	Community Development Dept. Public Services Dept.	Within 1 year of adoption of General Plan
8.0 The City shall encourage and support community recreational activities and events that promote civic pride or cultural/historic significance.	PR-1.4	Community Development Dept.	Ongoing
9.0 The City shall study the beneficial and financial advantages and disadvantages to community of creating a City Recreation and Parks Department as opposed to using CVRPD services.	PR-1.3 PR-1.4	City Manager Community Development Dept. Public Services Dept.	Within 1 year of adoption of General Plan

PARKS AND RECREATION IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
<p>10.0 Neighborhood parks shall be developed as the focus for recreational activities for a specific neighborhood areas (see Figure 3.4-1). Neighborhood parks should meet the following minimum standards:</p> <p>Acres/1,000 People: 2.0 Size Range: 5 to 20 acres Population Served: 2,000 to 10,000 persons Service Area Radius: 1/4 to 1/2 mile service radius (walking distance) Recreational Uses: Picnic areas with tables and barbecues, playground equipment, and open play areas.</p>	PR-1.1 PR-1.2 PR-1.4	Community Development Dept Public Services	Ongoing
<p>11.0 Community parks shall be developed as the major recreational center for community activities (see Figure 3.4-1). Community parks shall be centrally located and should meet the following minimum standards:</p> <p>Acre/1,000 People: 1.0 Size Range: 20 to 100 acres Population Served: 10,000 to 50,000 persons Service Area Radius: 1/2 to 3 miles service radius Recreational Uses: Picnic areas with tables and barbecues, playground equipment, open play areas, developed ball field, tennis and basketball courts, swimming pools, football and soccer fields, community center, and biking/pedestrian trails.</p>	PR-1.1 PR-1.2 PR-1.4	Community Development Dept. Public Services Dept.	Ongoing
<p>12.0 In coordination with Riverside County Parks Department, the City shall promote regional parks and encourage the use of their facilities and amenities.</p>	PR-1.4	Community Development Dept. Public Services Dept.	Ongoing
<p>13.0 The City shall allow for the development of large flood control facilities and other utility easements for joint use recreational purposes.</p>	PR-1.1 PR-1.2 PR-1.4	Community Development Dept. Public Services Dept.	Within 2 years of adoption of General Plan
<p>14.0 The City shall develop and implement a routine maintenance program to repair and/or replace park areas and equipment.</p>	PR-1.2 PR-1.4	Public Services Dept.	Within 1 year of adoption of General Plan

PARKS AND RECREATION IMPLEMENTATION MEASURES

Implementation Measure		Implements What Policy	Who is Responsible	Timeframe
15.0	The City shall design a recreational trail system that safely and logically links to as many neighborhood and community parks as possible (see Figure 3.4-1).	PR-1.4	Community Development Dept. Public Services Dept.	Within 2 years of adoption of General Plan



3.4.4 Libraries

Libraries provide an important and yet sometimes overlooked service to all members of the community. Libraries are not only for students; they are expanding their services for seniors and those who cannot leave their homes through the use of bookmobiles. Books are being augmented with audiobooks, videos, tapes, microfiche, and other media to offer something for every age and individual. Libraries are also tailoring their collections to the community they serve through the addition of foreign language collections and programs to increase literacy.

Indio is currently served by the Max T. McCandless Library, which is a 20,000-square-foot regional facility. It operates under the jurisdiction of the Riverside County Library System and is funded by the federal government, the State of California, and the County of Riverside.

GOAL LIB-1

Provide for sufficient and convenient library services for the community.

Policy LIB-1.1

Increase Library Standards

The City shall work with Riverside County Library services to meet minimum standards.

Policy LIB-1.2

Develop Additional Library Facilities

The City shall plan for the development of additional library facilities in the northern portion of the Planning Area.

LIBRARY IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0 The City shall promote library usage and work with Riverside County to improve and modernize library facilities.	LIB-1.1	Community Development Dept.	Ongoing
2.0 The City shall work with Riverside County to meet their library standard of 1.2 volumes per capita and 0.5 square feet of library facilities per capita.	LIB-1.1	Community Development Dept.	Ongoing
3.0 The City shall allow for the development of an additional library in the Shadow Hills Area.	LIB-1.2	Community Development Dept.	Ongoing
4.0 The City shall support literacy programs, mobile book services, and other library outreach programs in the community.	LIB-1.1 LIB-1.2	Community Development Dept.	Ongoing

COMMUNITY DEVELOPMENT

3.5 COMMUNITY DESIGN

Image is an important aspect to the Indio community, and it became clear early in the General Plan process that a Community Design subelement would be needed to address the desires and dreams the community wanted to see come true in the City.

Although the image of a community runs deeper than the design of a city's streets and buildings, physical design can have a positive impact on a person's perceptions of a community. The following design guidelines have been formulated to have a positive impact on people's perceptions of Indio and give Indio the look and feel of a well-designed City that expresses the pride the residents have for their City.

In keeping with the design of the General Plan, the community design guidelines provided in this subelement are simply guidelines. They are meant to provide a framework for development while not dictating design to a point of sterilizing the look of the community. Indio welcomes design innovation, and these guidelines provide that flexibility.

3.5.1 Organization of Community Design Section

In the Community Design subelement, the standard layout of the General Plan has been modified. Unlike other sections of the General Plan, the implementation measures in this section are listed immediately following each policy, not in a table at the end of the subelement. This was done because each policy deals with a particular item of design, and the implementation is particular to that policy. In addition, the use of graphics to illustrate policies and implementations made it difficult to separate these items and remain understandable.

Following each policy, the implementations are designated with a number sequence similar to all General Plan elements (such as 1.0, 2.0, and so forth). These implementations will be reviewed against all projects, and their timeframe for implementation will be "ongoing development review." For the majority of these implementations, the Community Development Department will be charged with implementation. If a timeframe or

implementing department is different, it will be noted in the implementation measure.

3.5.2 Principles of Design

Throughout this subelement, certain design principles will be used to describe a desired effect. These principles, in various combinations, will be applied to project design within every land use category. Although the list of design principles could be lengthy, the General Plan Design Guidelines will focus on the following eight items: style, mass, materials, texture/pattern, color, shadow, detail, and scale and proportion.

The following paragraphs provide general definitions of the above eight items. The application of these eight items in the City of Indio is discussed later in this subelement.

Style

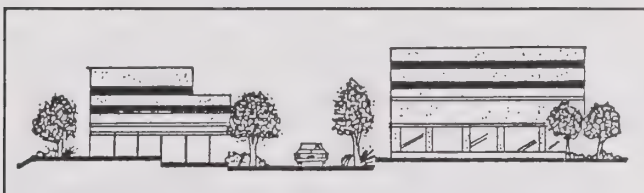
In the development of a shopping center, residential area, or a village concept within a city, an overall "theme" for the development can be adopted. These styles provide an architectural framework for a development or area and help establish a strong identity as well as a consistent pattern of image and character. In southern California, styles derived from the Spanish influence are very popular and fit well with the desert environment and lifestyle. Two popular implementations are the Spanish Mediterranean and Spanish Colonial styles. Although not required, both are characterized by tile roofs, arches, entrance portals, and the use of shadow.

Mass

The mass of a building or feature is described by its overall three-dimensional size. Massing is shaped by the combination of three-dimensional forms, the simplest of which are cubes, pyramids, spheres, and cones. Large masses are used to emphasize features, and small masses are used to subdue building elements.

The mass of a building can be broken into smaller pieces, which provide the same amount of floor

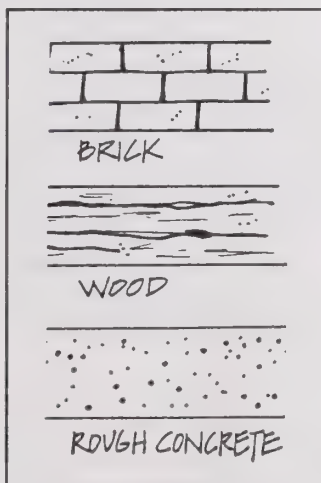
space, but at the same time reduce the apparent mass of the building to observers. The following figure provides an illustration of two buildings of approximately the same floor space. The first building has been broken into smaller geometric shapes and stepped back from the street. The second building is a single geometric shape that shows four large, unbroken facades. To the observer, the second building is larger and more obtrusive.



Examples of breaking up mass by using smaller geometric shapes and varying setbacks.

Materials

The use of different materials can change the appearance of a structure dramatically. The types of materials that can be used in a building or other structure are extensive and include glass, wood, metals, brick, concrete and concrete materials, stucco, and so forth. The use of more than one material can add interest to a structure. Cities can regulate materials through both restrictions (i.e., no metals on structure), required mixes (i.e., structure must use more than one material in a building), or application (i.e., metals only as accents).



Materials and textures.

Texture/Pattern

Texture refers to the roughness and pattern of a surface material. Texture can be affected by the use of different materials (brick versus wood), but can also be changed by different methods of application for the same material. For example, brick can be placed in different patterns and shapes to modify texture.

Texture can be used to change the visual nature of a structure and can be quite effective on both a large and small scale. On a large scale, a brick facade offers quite a different "visual" texture in comparison to an exposed aggregate finish. On a small scale, the subtle change in patterns or material can add interest to a pedestrian area (brick pavers in an asphalt parking lot aisle).

Color

Color can be provided by both the natural color of a material (i.e., brick, stone) or by the application of a color. In the regulation of color, the hue (i.e., red, green, yellow) and the tone (light versus dark) are the most commonly regulated aspects.

Shadow

Shadow, or the contrast between light and shade on a surface, is an important design consideration in that it enhances the three-dimensional appearance of a structure. Shadow treatments on a building should include a variety of shadows. For instance, thin lines of shadow can be produced by moldings, and heavy shadows can be produced by recessed windows, archways, or roof overhangs. In addition to producing an interesting effect on a building facade, shadow can also be used to provide relief from direct sunlight in outdoor pedestrian areas and interior spaces, thereby reducing the buildup of heat in the summer.

COMMUNITY DEVELOPMENT

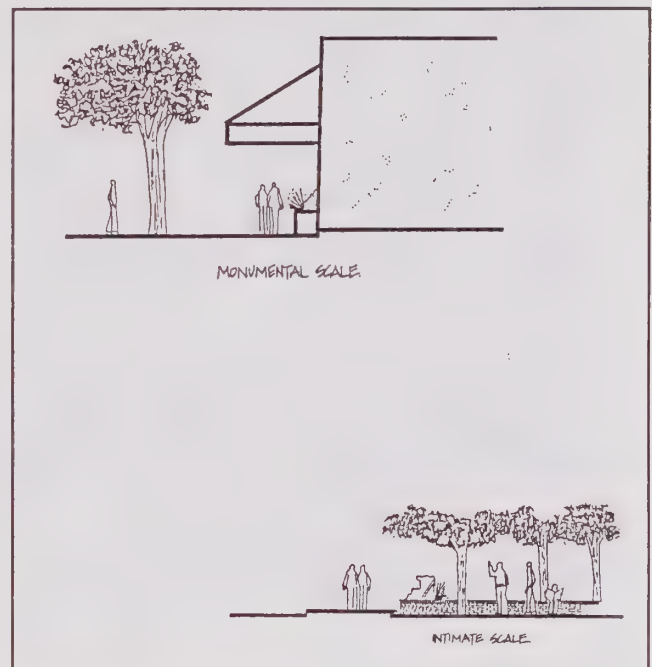
Detail

Architectural detail in this plan deals with three items: articulation of building facades, architectural treatment of building facades, and fine detail. Articulation in the vertical and horizontal plane of a building, as well as the inclusion of a varied roof line, is desired in order to avoid box-like structures. The City also wishes to ensure that all sides of a structure include some architectural detail in order to avoid long blank walls in commercial, industrial, and apartment developments. Finally, the inclusion of design details--articulated columns, tile bands, landscape pockets, multipaned windows, and balconies--is desired in order to achieve a quality product.

Scale and Proportion

Scale and proportion play major roles in establishing the human interaction with design. Within this plan, scale will refer to the relationship between a new structure and surrounding structures, and also with a structure's relationship with the "human scale."

The human scale refers to structures and elements that are modest in size, include details of interest, and are more horizontally oriented.



Examples of scale.

3.5.3 Planning Area Wide Design Criteria

GOAL CD-1

Provide a set of general design guidelines that provide a consistent level of design in all land use designations.

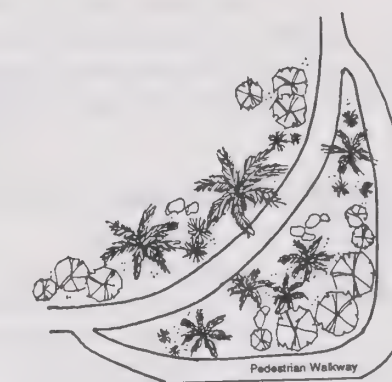
In developing a set of design guidelines for the General Plan, certain aspects of site design and architecture are common to all land uses. These common elements have been assembled in this section. When reviewing standards for a covered land use, such as commercial, the reader should also consult the goals and policies for the land use type.

Policy CD-1.1

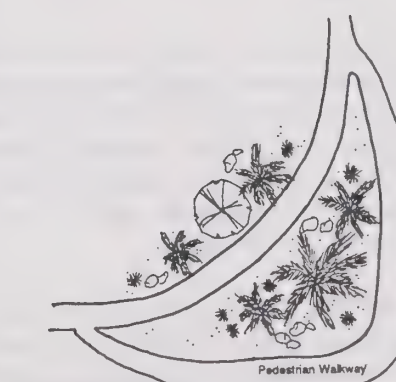
Entry Statements

Major intersections shall be designed to emphasize the intersection's importance and help establish a sense of place to the motorist, pedestrian, and so forth. Two levels of entry statements shall be used in the City – primary and secondary – as illustrated on the right. The illustrations provided are examples showing the different levels of treatment used for each intersection type. The City will need to adopt formalized standards for each entry statement type.

- 1.0 The locations for each of these treatments are shown on Figure 3.5-1. The City shall develop a standard for each type of entry statement within 6 months of approval of the General Plan.



PRIMARY INTERSECTION / ENTRYWAY



SECONDARY INTERSECTION / ENTRYWAY

Major intersection entry statements.

COMMUNITY DEVELOPMENT

Policy CD-1.2

Residential Identification

Residential projects shall use walls, landscaping, and identification signage to identify entries.

Residential projects are encouraged to provide additional landscaped areas at entries to allow for additional landscape and hardscape elements, including identification signage.

Policy CD -1.3

Walls and Fences: Residential

Walls and fencing will be required to define private yard space, define the boundaries of a master plan area, or provide attenuation from traffic noise. The following standards should be applied (see figure on following page for design examples).

- 2.0 Required walls shall not be a plain precession block wall, but shall instead consist of decorative block or a stucco finish.
- 3.0 Walls shall use pilasters, or similar treatments, in order to break up the mass of the wall.

A residential perimeter wall is a wall enclosing a housing development (tract, condominium, or townhome development; mobile home park), a master plan area, an area requiring a master wall plan, and/or associated facilities (i.e., golf course). Some of the parameters discussed below are presented on the next figure.

- 4.0 Within a master plan area, a master wall concept shall be approved by the Planning Commission prior to any development within the master plan area.
- 5.0 A master wall plan shall be compatible with the architectural theme for the master plan area.
- 6.0 Some walls, especially those on the perimeter of a project, can introduce a long, linear face. These types of walls need to be treated/ articulated in order to break up their mass. The figure on the following page illustrate types of wall treatments that can reduce the mass and linear nature of long walls. These treatments include, but are not limited to, use

of pilasters, mixtures of wall treatments/textures, wall pockets, meandering, or zigzag walls, inclusion of view section (i.e., wrought iron inserts), planters boxes at base or top of wall, and varied landscaping.

- 7.0 View fencing, using a wrought iron material, is encouraged to provide views into a project. Such fencing is appropriate in walls surrounding commercial land uses, open space, or where the ends of cul-de-sacs abut the wall. View fencing is also encouraged where existing views are present.



Explanation

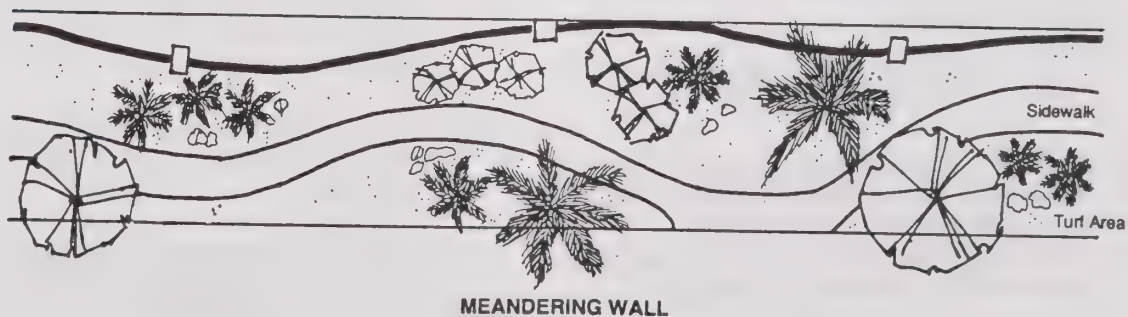
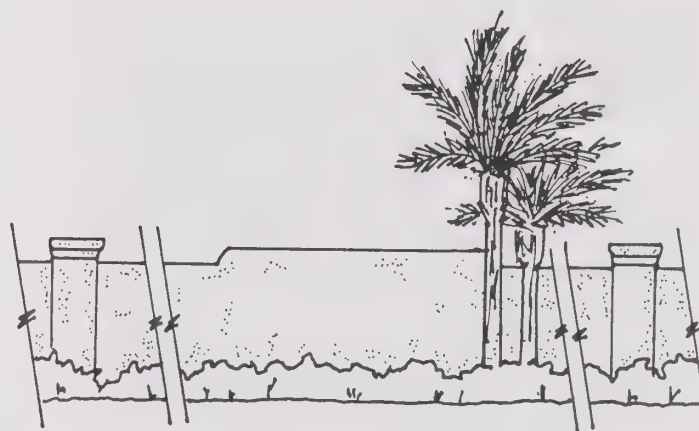
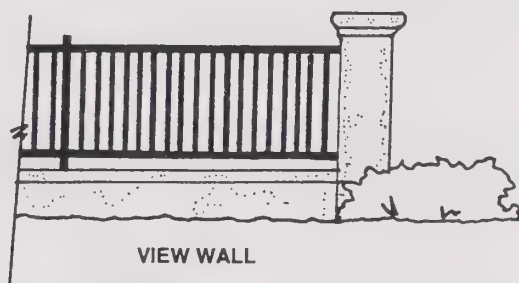
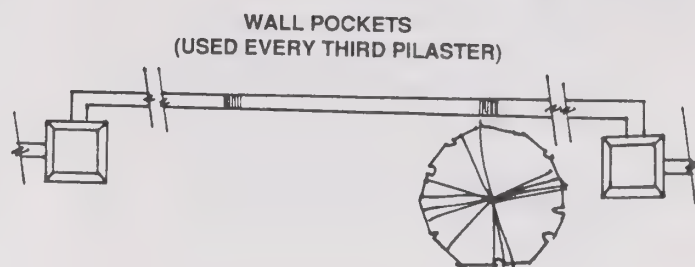
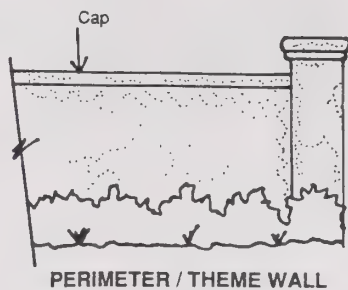
- Primary Intersection/Entry
- Secondary Intersection/Entry

Figure 3.5-1
ENTRY STATEMENTS

Chambers Group, Inc.
Robert Kahn, John Kain & Associates
Associated Engineers
Stanley R. Hoffman Associates
Zeiser Geotechnical



Wall Designs



COMMUNITY DEVELOPMENT

Policy CD 1.4

Walls and Fences: Nonresidential

Walls used to separate nonresidential and residential land uses shall have appropriate treatments to ensure that the wall is not intrusive on residential units.

- 8.0 Walls separating residential and nonresidential land uses shall be articulated on both sides.

Policy CD-1.5

Buffering

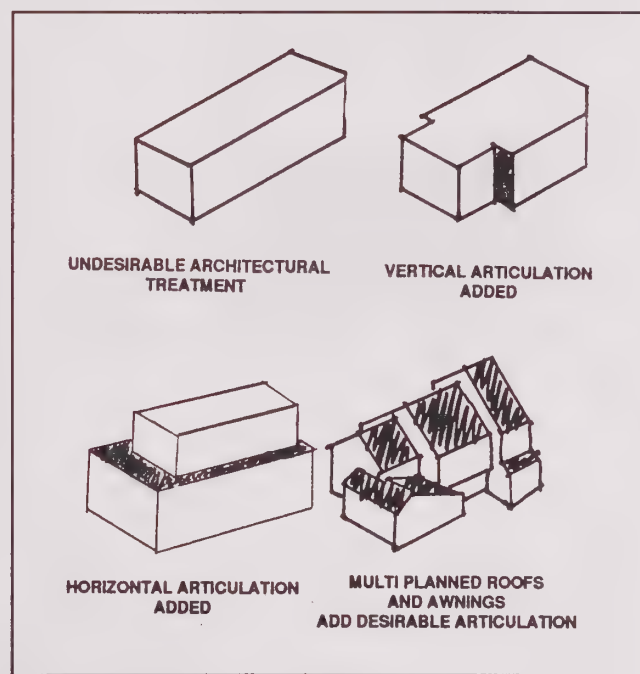
When placing nonresidential uses adjacent to an existing residential use or a land use designation that allows residential uses, the following guidelines shall apply:

- 9.0 Roadway features make for good dividers between residential and nonresidential uses.
- 10.0 If a nonresidential use is proposed adjacent to a residential use or designation, with no public roadway separating the uses, the following shall apply:
- ▶ Setbacks shall be increased between residential use/designation and proposed building. A minimum setback of 50 feet shall be required, with larger setbacks possible depending on the intensity of land uses.
 - ▶ A heavy landscape screen shall be established along the common property line, using 15-gallon and 24-inch box trees within a minimum 15-foot wide planting strip.
 - ▶ Tree and vine pockets shall be used against the rear of a structure.
 - ▶ Noise-generating uses, such as loading docks and trash collection facilities, shall be located as far as possible from residential uses and shall be oriented and screened to reduce visual impacts.
 - ▶ The rear of large buildings shall include articulation treatments similar to the front of the building to provide visual interest.

Policy CD-1.6

Articulation

All development types shall be required to provide articulation of facades. This includes a combination of vertical, horizontal, and roofline treatments as illustrated on the following figure. The variation of masses, facades, and rooflines helps provide an interesting form, proportion, and scale. It also provides for shadow, a softer line between the building and landscaping, and a more "human" scale.



Examples of articulation.

Single-Family Residential

- 11.0 Each housing tract shall include a variety of floorplans and facade treatments for each floorplan in order to provide variety and interest in the streetscape.
- 12.0 Floorplans within a tract should have varying front widths in order to provide variety in the streetscape.
- 13.0 Treatments such as porches, patio covers, and balconies are encouraged.

Multifamily Residential

- 14.0 Private balconies and patios are encouraged.
- 15.0 Linear entries and common landings running along the face of a building are discouraged. Entrances to individual units should be clustered. Common stairways and landings should provide access to a maximum of four units.

Nonresidential Uses

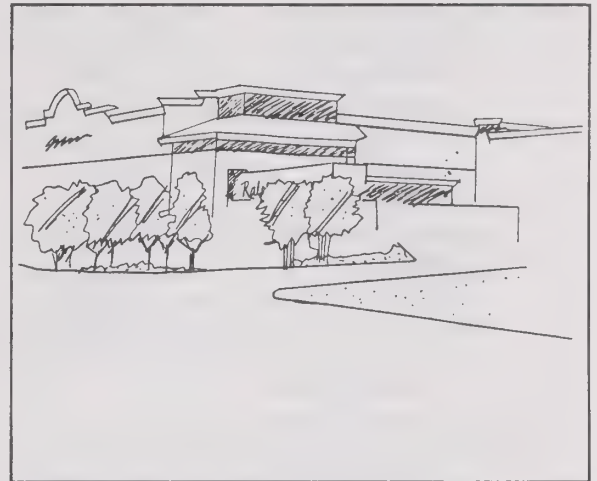
- 16.0 For commercial and office uses, landscaping should be provided against the building in order to soften the edge.

Policy CD-1.7

Screening

Screening will be required to hide service and utility areas within a development. The following standards shall apply:

- 17.0 Trash collection, loading facilities, mechanical equipment, outdoor storage (where allowed), and antennas shall be screened from public view using both walls, enclosures, and other solid screening materials as well as landscaping. Such screenings will use colors, materials, and vertical and horizontal variations in order to be consistent with the overall design theme of the building. The next figure illustrates the use of screen walls and landscaping to screen a loading facility.
- 18.0 Common trash collection areas shall be fully enclosed and shall include a separate gate for user access and emptying the trash receptacles.
- 19.0 Onsite utilities and equipment shall be located in inconspicuous locations that are out of the public view.
- 20.0 Roof-mounted equipment shall be fully screened using a material and treatment that are compatible with the building. Screenings for multiple pieces of equipment shall be accomplished by a single screen, and not a series of screening enclosures.



Example of loading dock screening.

Policy CD-1.8

Pedestrian Orientation

Pedestrian orientation is considered a necessary amenity within all land use designations except Resource Recovery. Pedestrian orientation in this document will refer not only to the provision of sidewalks, walkways, and trails, but also to the provision of other amenities that make a location more interesting and inviting to the user.

Multifamily Residential

- 21.0 Convenient access shall be provided from all units to common areas, such as pools, recreation rooms, laundry facilities, mailboxes, trash receptacles, and so forth.

Commercial

- 22.0 Landscaped and well-shaded plazas with seating areas and points of interest, such as fountains, shall be created.
- 23.0 Shaded walkways/arcades in areas of pedestrian traffic shall be provided in order to give shelter from the elements and encourage people to walk through the commercial area. This will create a more intimate scale to larger commercial centers.
- 24.0 The inclusion of outdoor dining areas in commercial areas shall be encouraged.

COMMUNITY DEVELOPMENT

- 25.0 Separate and clearly defined pedestrian and automobile circulation within a center, especially parking areas, shall be provided.



Sheltered walkways.

- ▶ Enhanced pavings are encouraged for distinguishing pedestrian walkways.
- ▶ Parking lots should include one or more sidewalks within the parking area to collect persons and separate them from auto traffic.
- ▶ Pedestrian walkways should be oriented toward major entrances.
- ▶ Drive isle should run perpendicular to major stores so that pedestrian traffic is not forced to cross drive isles at several points, but instead moves parallel to traffic.

- 26.0 Deliveries should not be allowed in areas of high pedestrian traffic and shall be oriented to separate loading facilities.

Business Park

- 27.0 Shaded/sheltered common areas for lunch, break, and congregational opportunities should be provided.

Policy CD-1.9

Public Art

In order to provide residents, employees, and visitors in Indio the opportunity to enjoy and experience the arts and provide a focal point to

buildings and pedestrian areas, an Art In Public Places (AIPP) program will be established.

- 28.0 AIPP shall be incorporated into the design of all buildings or centers containing over 50,000

square feet of floor area in any commercial or public land use designation, and in all industrial land uses having office space in excess of 50,000 square feet.

- 29.0 All work for public arts shall be reviewed and approved by the City's Arts Commission.
- 30.0 The City's Arts Commission shall prepare criteria for AIPP within 1 year of approval of the General Plan. This plan shall include criteria to be followed in the review of AIPP.
- 31.0 The use of art created by local artists shall be encouraged.
- 32.0 AIPP shall be located in an area that either highlights the design of the building or center, or is located within a pedestrian plaza onsite.
- 33.0 AIPP that encourages interaction with the public is encouraged. For example, works of art that can be touched, sat on, walked on, and so forth.

Policy CD-1.10

Lighting

Adequate lighting shall be provided for all land uses to provide a safe and attractive nighttime atmosphere.

- 34.0 All commercial and industrial land uses will be required to submit a lighting plan showing the type and height of all outdoor illumination sources onsite and providing a point-to-point or isofotcandle diagram showing the illumination of all areas onsite and any light spillage on offsite properties based on a horizontal reading. The type of measurement to be preformed will be stated in the City's new development code.
- 35.0 The Indio Police Department shall prepare illumination guidelines for streets, parking, and pedestrian areas within 6 months after adoption of the General Plan. These guidelines shall include a lower intensity light standard for rural street lighting (areas bordering or internal) to a EE or CE land use designation.

**Policy
CD-1.11**

Anti-Graffiti Design

The City of Indio will require the use of designs that discourage graffiti and other forms of vandalism within the Planning Area (see also Police and Fire Services Policy 1.4).

- 36.0 Long expanses of blank walls will not be allowed.
- 37.0 Whenever feasible, walls or building surfaces should have planters with mature shrubs or vines to hide wall surfaces or make access to the walls difficult.
- 38.0 Where a wall on the property line abuts a vacant parcel or open area likely to be vandalized, vines will be used to cover the wall surface. Vines growing over the top of the wall, in a planter on top of the wall, or growing through pockets in the wall from the developed side to the undeveloped side can be used for this purpose.
- 39.0 The City will continue efforts to remove graffiti expediently from all areas through City or volunteer mechanisms.

**Policy
CD-1.12**

Crime Prevention

The City will develop site design parameters to be followed by developers in the City to reduce opportunities for crime (see also Police and Fire Services Policy 1.1).

- 40.0 The Indio Police Department shall develop a set of design criteria to be used in the review of all projects in the Planning Area. These criteria will be developed within 6 months after approval of the General Plan.
- 41.0 All site plans will be reviewed by the Indio Police Department or its designee prior to action on a project.

**Policy
CD-1.13**

Geologic Hazards

Development in areas of geologic hazard will require special design requirements to protect the public health, safety, and welfare.

- 42.0 Any project that proposes habitable structures within the Alquist-Priolo Zone shall have a certified engineering geologist prepare a geologic study conforming to state requirements for that zone.
- 43.0 Habitable structures shall be set back a minimum of 50 feet from all active or potentially active faults unless a different distance is stated as a minimum by a engineering geology report prepared for a site.
- 44.0 Public use and/or emergency facilities shall not be permitted within the Alquist-Priolo Zone.
- 45.0 Prior to obtaining a purchase agreement and/or close of escrow for any lot or parcel within the Alquist-Priolo Zone, the perspective purchaser shall be informed of the potential for seismic activity within the zone and the location of the fault shall be disclosed.

**Policy
CD-1.14**

Hillside Development

The development of properties within the Indio Hills, defined as the areas north of the East Side Dike, will require special design

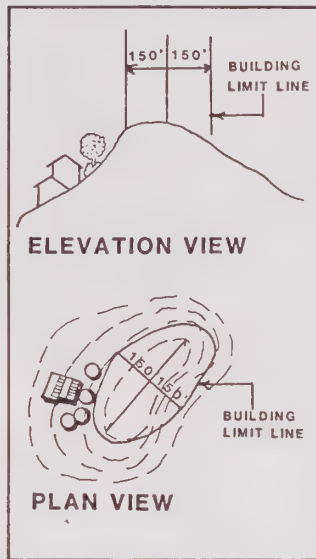
techniques to ensure that community viewsheds and the natural environment are not adversely impacted by development. This policy and associated implementation measures will be used for developments having any sloped areas greater than 15 percent as defined by the City's zoning Code.

Siting of Dwelling Units

- 46.0 All projects shall incorporate a variety of site planning techniques that allow for view preservation, setback and floor plan variations, reductions to building height and massing, and minimum lot coverage. Structures and site furnishing shall compliment the surrounding natural environment.
- 47.0 Development on prominent peaks and ridgelines will not be allowed. A building restriction limit radius line of 150 horizontal feet from the top of the peak or ridge shall be

required. No structures or their roof lines shall encroach into the building restriction limit radius line.

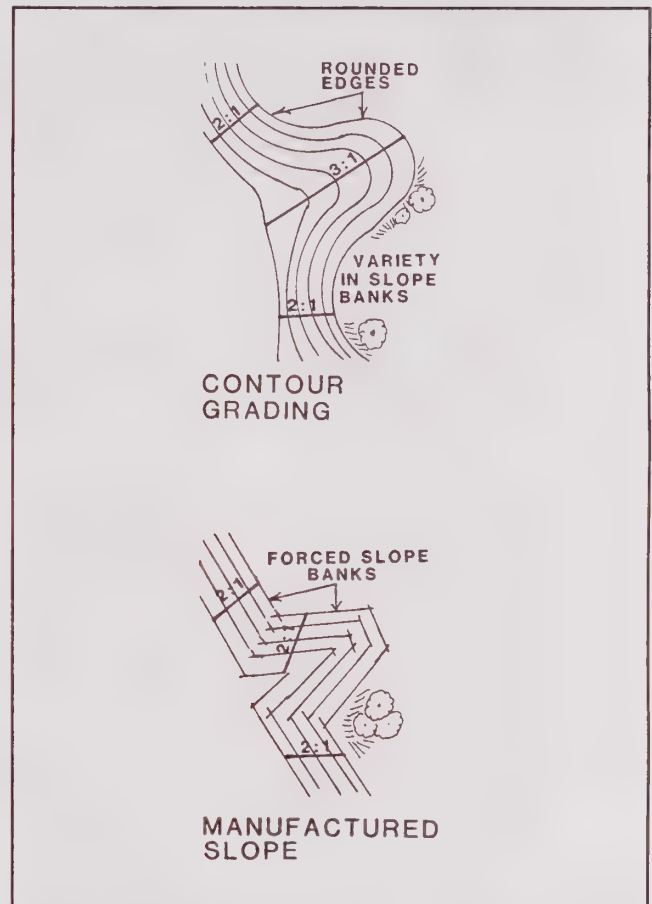
- 48.0 Architectural techniques such as split pads, stepped footings, and grade separations shall be incorporated into the design of all structures constructed in the hillside area. Native trees and scrubs shall be planted between structures and the hillsides to soften the backdrop views.



Ridgeline preservation.

Grading

- 49.0 Projects within the hillside areas shall be designed to preserve prominent ridgelines and slope banks in their natural form.
- 50.0 Contour grading techniques shall be used to provide for a variety of slope percentages and undulating patterns similar to the natural terrain.
- 51.0 Large cut slopes and padded areas shall be avoided. Slopes shall not exceed 50 percent or a 2:1 horizontal to vertical ratio.
- 52.0 Significant topographical features, such as prominent peaks, ridgelines, and major rock out-croppings, visible from the surrounding areas shall be preserved in their natural form.
- 53.0 Grading of slopes 40 percent or greater shall be restricted.
- 54.0 All structures shall compliment the natural surroundings and blend with the environment.



Grading techniques

3.5.4 Site Design and Architectural Guidelines

This section addresses site design criteria that are used for each type of land use proposed in the General Plan.

GOAL CD-2

Provide a set of design guidelines that provide guidance for aspects of design that are unique to the residential, commercial, industrial, and mixed use land use designations.

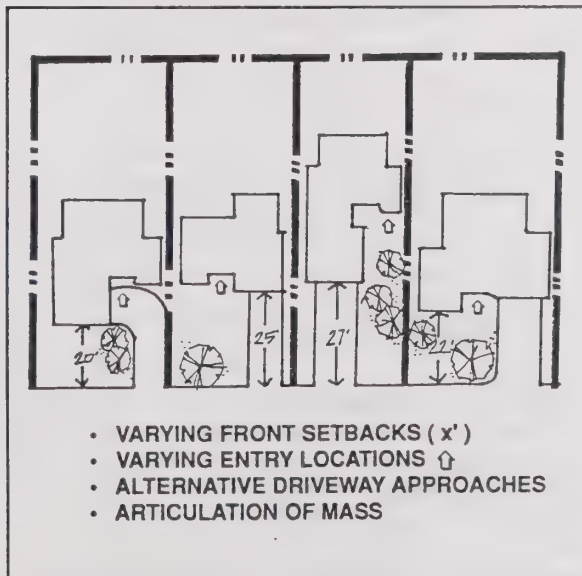
**Policy
CD-2.1**

Single-Family Residential

Single-family residential neighborhoods shall be designed to create a recognizable sense of place and a secure neighborhood.

Site Design

- 55.0 Residential structures shall be set back varying distances from the minimum allowed front yard setback in order to increase the visual diversity along a street. Setbacks should vary a minimum of 5 feet.
- 56.0 For single-family detached units, garages shall be set back a minimum of 20 feet to allow vehicles to park in a driveway and not block the sidewalk.
- 57.0 Residences should be designed to have varying entry locations and articulation of mass to provide a more attractive neighborhood.



Single-family residential site design.

Architectural Design

- 58.0 When lot sizes permit, residential units should be designed so that various garage orientations can be achieved, such as entering from the front or the side (as shown above).
- 59.0 All roof surfaces are encouraged to provide an overhang of at least 12 inches. An 18-inch overhang is preferred.

**Policy
CD-2.2**

Multifamily Residential

Site design and architectural treatments shall be included in multifamily projects to provide a safe and well-designed living area that provides private and common use areas.

Site Design

- 60.0 Common open spaces should be conveniently located to units within the complex, and separate, secured children's play areas are encouraged.
- 61.0 The provision of private open spaces for each unit is encouraged. This would include patios or balconies.
- 62.0 Long, unbroken lines of garages and carports on both sides of a drive aisle are discouraged. Garages and carports should be arranged to avoid blocking views of the residential units.
- 63.0 All areas not dedicated for residential units, ancillary structures, parking, and drives shall be landscaped.
- 64.0 In addition to landscaping in and around the residential units, landscaping should also be provided within the parking areas. Planters at the end of drive aisles should be used to enhance the visual perception of the drive.
- 65.0 Multifamily residential complexes shall have a perimeter wall and shall use a security gate system for access into the project.

COMMUNITY DEVELOPMENT

- 66.0 Parking shall be distributed throughout the project so that each unit has convenient access to private and visitor parking.

Architectural Design

- 67.0 Because of the potential bulk of multifamily structures, facade and roofline articulation are vital to providing a desirable product. Each unit should have a projection from the wall surface, which can include ledges, balconies, window alcoves, and so forth. Several rooflines should be provided for each building.
- 68.0 Multifamily units within large complexes should be divided into groups of smaller buildings instead of providing a few large structures (greater than 10 units per building).
- 69.0 All mechanical equipment, including air conditioning and forced air units, shall be screened using an enclosure that matches the architectural design of the building. Equipment can also be placed within private patio areas as long as these areas have a solid enclosure.
- 70.0 Carports, when used, shall be designed to avoid the flimsy appearance of thin metal supports and flat metal roofs. Support columns shall be designed to have the appearance of mass.
- 71.0 Lighting shall be provided to ensure safety of those living and visiting a complex. All multifamily complexes shall provide the City with a lighting plan, including location, height, type, and brightness, for review and approval.

Policy CD-2.3

Commercial

Commercial projects shall contain a level of design that provides for a pleasant and safe shopping experience and encourages the movement of pedestrians throughout the project.

Site Design

- 72.0 Whenever possible, structures should be sited in a cluster arrangement surrounding a common plaza on several sides. A center made up of several individual pads, each surrounded by parking, discourages pedestrian usage and emphasizes the parking facilities rather than the commercial center.
- 73.0 When buildings cannot be clustered, landscaping, pavement treatments, trellises, or other amenities shall be used to visually link the structures into a cohesive whole.
- 74.0 Entry driveways into a commercial center shall be used to make a statement of entry. Enhanced paving, wide entries with center medians, entry statement signage, and landscaping are examples of possible treatments.
- 75.0 It is desired that access to major roadways occur at 300-foot intervals. In addition, median breaks will only be provided on a ¼-mile interval. Reciprocal access and shared driveways will be required in order to provide a consistent and workable ingress and egress plan for an area.
- 76.0 Loading docks should be placed in the rear of buildings where it will be easier to screen these facilities from public views. If the rear of a commercial center is adjacent to residential uses, locations on the sides of buildings, increased setbacks, or screening will be considered.
- 77.0 Parking lots in commercial centers will be required to provide a minimum of 15 percent landscaping. Landscaping plans should achieve the following:
- Provide shade for parked cars. To achieve this, landscaping will be required throughout a shopping complex. Landscaping can be provided in the parking lot with a combination of finger islands and diamond planters (located at the center of four parking spaces).

- ▶ Landscaping should be provided adjacent to all building facades in order to soften the appearance of the building.
- ▶ Provide shade for outdoor plazas and walkways.

Architectural Design

78.0 Commercial centers shall achieve a high-quality design that includes the following:

- ▶ High levels of articulation shall be required for both facades and roof planes.
- ▶ Buildings shall provide articulation of all building faces. Large facades shall be broken up by use articulation along the entire length of the building face, not just at the building entrance.
- ▶ Building entrances shall have additional elements that make entries easy to identify.
- ▶ Covered walkways shall be included when possible.
- ▶ Varied materials and textures, shall be used.
- ▶ Accent colors should be used to add interest to large buildings.

Policy CD-2.4

Special Commercial Land Uses

Several commercial land use types have special circumstances due to their use or operations that require special design treatments in order to ensure their compatibility with surrounding land uses.

Gas Stations

Gas stations provide unique constraints and opportunities for design. The following guidelines shall be applied:

79.0 For gasoline stations that will provide automobile maintenance or repairs, a reverse frontage orientation is required.

80.0 For service stations that do not include repair or maintenance activities, either forward-facing or reverse frontage orientations are allowable.

81.0 Car wash facilities shall be oriented or screened so that the interior of the car wash is not directly visible to passing vehicles or other public areas.

In addition to forward versus reverse frontage, the layout of each orientation can take on several basic shapes: pumps perpendicular to one street, L-shaped, or diagonal (angles across property or angles between two streets).

82.0 All service stations, regardless of orientation, are encouraged to use a diagonal layout.

Hotels/Motels

83.0 Hotels and motels will be expected to achieve the highest level of design quality in Shadow Hills. Focus will be on detail, articulation, and the combination of materials and textures.

84.0 Long linear rows of units and doorways served by a common balcony will not be allowed. Building articulation should be to an extent where access to rooms is provided from many different angles.

Auto Service Facilities

85.0 Auto service bays shall not be oriented to front upon a roadway.

Policy CD-2.5

Industrial

Industrial land uses shall be designed to facilitate the easy movement of people and goods while ensuring that activities do not infringe on the visual nature of surrounding areas.

COMMUNITY DEVELOPMENT

Site Design

- 86.0 It is desired that access to major roadways occur at 300-foot intervals. In addition, median breaks will only be provided on a ¼-mile interval. Reciprocal access and shared driveways will be required in order to provide a consistent and workable ingress and egress plan for an area.
- 87.0 In BP and IP designations, loading docks should be placed in the rear of buildings where it will be easier to screen these facilities from public views. Loading areas on the fronts of buildings are discouraged.
- 88.0 In the BP designation, buildings are encouraged to be clustered in a campus setting, with common landscaped areas between building instead of parking lots.

include several water features and provide articulation of the water feature provided by the canal.

- 93.0 In the commercial portion of the VC, the parking area will be periphery, with commercial uses clustered around common pedestrian spaces.
- 94.0 Free-standing commercial pads are discouraged within the VC.

3.5.5 Trails

- 95.0 The City Trails Committee (formed by the Circulation Subelement) shall prepare design guidelines for all trail types to be used in the City (refer to Circulation Implementation 30.0).

Architectural Design

- 89.0 For large buildings dominated by warehouse uses, office uses should be located along the front of the building. The use of a single-story element for these offices would help to reduce the bulk of the larger building.
- 90.0 In BP and IP designations, articulation shall be provided on all sides of a building that are visible to the general public or areas used or planned for residential or commercial uses.

Policy CD-2.6

Mixed Use

The mixed use designations include a variety of residential, commercial, and open space uses. The design of these areas shall emphasize the interrelation among the land uses so that the area looks like one master planned mixed use development, and not several individual projects.

- 91.0 All areas shall be linked by a system of pedestrian/equestrian/bicycle trails. This trail system shall provide links into regional trails as well as internal trails in surrounding RPDs.
- 92.0 The VC designation shown at the intersection of Madison Street and Avenue 40 shall

3.6 ECONOMIC DEVELOPMENT

The City of Indio faces major opportunities for future economic development and continuing economic growth. Located in the eastern portion of the Coachella Valley market area, the City has historically served as a commerce center for many surrounding areas. However, with new growth of communities to the west and aggressive industrial development being pursued by adjacent communities, as well as aggressive economic development incentives being provided to foster development along Interstate 10 to the west of Indio, the community faces greater challenges and constraints to fostering its own economic growth.

Many of the locational characteristics that have historically favored the community can be capitalized upon to foster continued economic growth in the future. Indio should be able to use its geographic, social, and civic resources to provide for continued growth by strategically planning to stress the following factors: location within the Coachella Valley, available labor supply, supply of affordable housing, commercial lease space, park, schools, and civic facilities.

Maintenance of the General Plan, its goals and policies, and the development of strategic implementation programs should allow the City of Indio to provide its community with a long-range blueprint for growth.

Although the community possesses tremendous potential for sustained economic growth, careful steps will be necessary to realize the attainment of the General Plan's Goals and Policies and to produce a community with a balanced and healthy local economic base.

GOAL ED-1

Provide the City with the tools needed to promote a balanced economic growth with sufficient fiscal resources to provide for the necessary infrastructure, and public and community services.

Policy ED-1.1

Regional Economic Development

The City shall encourage increases in economic development within the Community.

Policy ED-1.2

Local Economic Development

The community shall strive to diversify its local business makeup so that it avoids dependence on one segment of the local economy to provide employment, revenues, and retail outlets for the citizenry.

Policy ED-1.3

Economic Balance

The City shall coordinate with appropriate agencies and groups in furthering business opportunities for the community.

Policy ED-1.4

Up-to-Date Demographics

The City shall keep apprised of current economic trends affecting the community and use them to its advantage economically.

**Policy
ED-1.5****Business Retention**

The City shall make business retention and expansion an integral part of the City's economic development efforts.

**Policy
ED-1.6****Business Recruitment**

The City shall make business recruitment an integral part of the City's economic development efforts as a means to increase job growth.

ECONOMIC DEVELOPMENT IMPLEMENTATION MEASURES

Implementation Measure		Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall be responsible for creating public/private partnerships, encourage private sector participation, and to be a leader in community economic development.	ED-1.1 ED-1.5 ED-1.6	Economic Development/ Redevelopment Agency	Ongoing
2.0	The City shall pursue incentive programs and develop administrative processes to lure private investment to the community.	ED-1.1 ED-1.6	Economic Development/ Redevelopment Agency	Ongoing
3.0	The City shall stimulate tourist and visitor commercial activity centers through the use of City Redevelopment Agency and other City-sponsored improvement programs within fiscal limitations.	ED-1.2	Economic Development/ Redevelopment Agency	Ongoing
4.0	The City shall evaluate the General Plan and Zoning Ordinance to ensure that adequate lands are available for a range of land uses including residential, commercial, office, industrial, parks and recreation, and public facilities.	ED-1.2	Community Development Dept.	Ongoing
5.0	The City shall support and coordinate with regional and subregional economic development agencies, including the College of the Desert Small Business Assistance Center, Coachella Valley Enterprise Zone Authority (CVEZA), Indio Chamber of Commerce, and other groups to foster a climate supportive to the business community.	ED-1.3 ED-1.5 ED-1.6	Economic Development/ Redevelopment Agency	Ongoing
6.0	The City shall work with CVEZA, the Indio Chamber of Commerce and other business groups in the development of economic publications, assistance documents, instructional pamphlets, and other forms of assistance to support economic development within the community.	ED-1.3	Economic Development/ Redevelopment Agency	Ongoing

ECONOMIC DEVELOPMENT IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
7.0 The City shall combine the community's resources with those of other agencies, private groups, and developers wherever there may be opportunities to increase employment within the community.	ED-1.4	Economic Development/ Redevelopment Agency	Annually
8.0 The City shall regularly evaluate the City's population characteristics, housing stock character, and changing employment trends to better compete with neighboring communities.	ED-1.4	Economic Development/ Redevelopment Agency Community Development Dept.	Ongoing
9.0 The City shall be forward-looking in its planning for land use, infrastructure, and capital improvement planning and budgeting to be able to supply necessary improvements throughout the community to support continuing economic growth in partnership with other local agencies and jurisdictions.	ED-1.4	Economic Development/ Redevelopment Agency Community Development Dept. Public Services Dept. Finance Dept.	Ongoing
10.0 The City shall regularly attend and participate in regional, state-wide, and other economic development conferences, activities, and other opportunities to learn from the experiences of other communities to promote local economic development programs.	ED-1.4	Economic Development/ Redevelopment Agency Finance Dept.	Ongoing
11.0 Support the local economy through civic, cultural, educational, and public safety programs and services through a variety of local programs and efforts. To this end, the City shall actively seek the advice and counsel of its citizens, business groups, educational leaders, and other members of the community on a continual basis.	ED-1.1	Economic Development/ Redevelopment Agency Community Development Dept. Public Service Dept. Police Dept. Finance Dept.	Ongoing

ECONOMIC DEVELOPMENT IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
12.0 The City will actively support business retention and expansion by understanding the issues, adopt appropriate public policy to encourage existing business, cooperate with the Chamber of Commerce and others in cooperative efforts. The City will address issues that impact business investment.	ED-1.5	Economic Development/ Redevelopment Agency	Ongoing
13.0 The City will actively engage in business recruitment as a joint effort with CVEZA and the Indio Chamber of Commerce by providing leadership, financial, and staff resources and the creation of favorable public policies for new business to be attracted to Indio.	ED-1.6	Economic Development/ Redevelopment Agency	Ongoing
14.0 The City will capitalize on the major attractions that are in Indio by cooperating with the owners and venders in enhancing Indio's tourist trade. Attractions to Indio include the Polo and Equestrian Centers, Riverside County's Desert Expo, and the Cabazon Indian Gaming facility.	ED-1.1	Economic Development/ Redevelopment Agency	Ongoing

3.7 GOVERNMENT

In order to effectively plan for future growth and changes in the community, the General Plan must provide implementation measures to coordinate the policies and procedures of the various government departments that affect development of the community.

The development review process has become complicated and convoluted. As the City strives to provide needed infrastructure improvements and upgrades to community services in a timely and cost-efficient manner, the City is sometimes faced with having to require standards and regulations that are conflicting and prohibitive in nature.

Because it is the role of the government to provide for the health, safety, and welfare of all persons within the community, standards and regulations cannot be ignored or relaxed as a means to facilitate economic growth and development. However, the process and structure under which regulations are implemented should be revised and reorganized. The following government goals, policies, and implementation measures are intended to provide for a more efficient and coordinated government process.

GOAL GOV-1

Provide the necessary structure and guidelines under which the City can operate effectively.

Policy GOV-1.1

Service to the Community

The City shall update existing planning documents to better serve the community.

Policy GOV-1.2

Development Review

The City shall facilitate efficient and effective development review of proposed projects.

Policy GOV-1.3

Regional Participation

The City shall coordinate activities with the County of Riverside and other regional agencies.

Policy GOV-1.4

Community Support

The City shall provide administrative support to the business and civic organizations to address long-range community programs.

GOVERNMENT IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
<p>1.0 The City shall develop an efficient and thorough environmental review process to include the following:</p> <ul style="list-style-type: none"> ▶ Adopt standard mitigation measures to be used for projects within the community to mitigate impacts on the environment. ▶ Develop a list of approved environmental consultants to be used for the preparation of environmental documents within the City. ▶ Adopt standard significance criteria found in Appendix H of the General Plan for use in determining level of significance in future environmental studies. 	GOV-1.2	Community Development Dept.	Within 6 months of adoption of the General Plan
<p>2.0 The City shall provide necessary administrative support for the community's Commissions and Boards.</p>	GOV-1.4	Community Development Dept.	Ongoing
<p>3.0 The City shall review and modify where necessary current development review procedures for ways to minimize processing times without sacrificing quality review and state law.</p>	GOV-1.2	Community Development Dept.	Within 1 year of adoption of the General Plan
<p>4.0 The City shall create a General Plan Advisory Committee to review and update the General Plan in accordance with state law. The Committee shall consist of members of staff, the community, and the private sector. This committee shall prepare an annual report on the implementation and status of the General Plan, and recommend any needed changes.</p>	GOV-1.1 GOV-1.2 GOV-1.4 All LU	Community Development Dept.	Within 1 year of adoption of the General Plan Annual review thereafter
<p>5.0 Integrate state and federal rules such as NPDES, CEQA, air quality, transportation, and so forth into the City's development policies.</p>	GOV-1.2 GOV-1.3	Community Development Dept.	Within 1 year of adoption of the General Plan

GOVERNMENT IMPLEMENTATION MEASURES

Implementation Measure		Implements What Policy	Who is Responsible	Timeframe
6.0	The City shall allow partially completed tracts and tracts with final maps to proceed forward as previously approved based upon the significant investment made in the project.	GOV-1.2	Community Development Dept.	Ongoing
7.0	The City shall formulate a development policy for in-fill projects.	GOV-1.2	Community Development Dept.	Within 6 months of adoption of the General Plan

ENVIRONMENTAL RESOURCES

4.1 OPEN SPACE

GOAL OS-1

Ensure the public enjoyment of open space by providing open space recreational opportunities, preserving sensitive natural resources, and promoting the use of open space within public and private developments.

Policy OS-1.1

Exclusion from Parks and Recreation Calculation

Open space areas that are to be used as passive open space, biological habitat preservation, and other nonrecreational purposes shall not be used in the calculation of public parklands (see also PR-1.1).

Policy OS-1.2

Development Exclusions

Maintain as permanent open space all utility easements, drainage ways, streambeds, active fault zones (as designated by the State Geologist), and power transmission line rights-of-way.

Policy OS-1.3

Trails Linking Open Space

The City shall ensure that pedestrian, hiking, equestrian, and biking trails are provided to link open space areas within Shadow Hills and Indio Ranchos to active recreational areas in other areas of the community.

Policy OS-1.4

Public Access

The City shall ensure that areas designated as open space for public use remain accessible to the general public.

GOAL OS-2

Protect the scenic beauty of prominent natural features within the Planning Area.

Policy OS-2.1

Enhance Scenic Corridors

Scenic corridors within the Planning Area shall be designated to enhance and preserve views of the Indio Hills located north of the East Side Dike.

Policy OS-2.2

Hillside Roadways

The design and alignment of roadways within the Indio Hills area shall be sensitive to the natural terrain minimizing the impact of grading on natural features by adhering to the natural topography and reducing the height of cut-and-fill slopes. Long linear roadways will not be allowed.

Policy OS-2.3

Hillside Residential

No structures will be allowed on ridgelines within the Indio Hills.

OPEN SPACE IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who Is Responsible	Timeframe
1.0 Review all development plans and tentative tract maps to ensure that passive open space, biological habitat preservation, and other nonrecreational purposes are not used in calculating the area required for private and public parklands.	OS-1.1	Community Development Dept.	Ongoing
2.0 Require that all tentative tract maps indicate drainage ways, streambeds, sensitive sites, active fault zones (designated by the State Geologist), significant site features such as mature trees and large rock formations, and utility corridor rights-of-way.	OS-1.2	Community Development Dept.	Ongoing
3.0 All development proposals will be reviewed to ensure that pedestrian trails, hiking, equestrian, and biking trails linking open space areas within Indio Ranchos and Shadow Hills with active recreational areas in other area of the community are designated on the plans as public open space.	OS-1.3	Community Development Dept.	Ongoing
4.0 The City shall develop and implement a plan for bicycling trails throughout the City.	OS-1.3	Community Development Dept. Public Services Dept.	Within 1 year of adoption of General Plan
5.0 Require all development proposals that propose public open space be indicated as such on the site plans and/or tentative tract maps. Plans shall clearly indicate access to the open space areas as public.	OS-1.1 OS-1.2 OS-1.3 OS-1.4	Community Development Dept.	Ongoing
6.0 The City shall develop and implement an ordinance that designates scenic corridors within the Planning Area.	OS-2.1	Community Development Dept. Public Services Dept.	Within 1 year of adoption of General Plan
7.0 The City shall review all development and roadway improvement proposals to ensure that grading within the Indio Hills area is sensitive to the natural terrain and that the height of cut-and-fill slopes does not exceed a 3:1 horizontal to vertical slope.	OS-2.2 OS-2.3	Community Development Dept. Public Services Dept.	Ongoing

OPEN SPACE IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
8.0	Recognize the scenic beauty of the Indio Hills as a visual resource through land use designations and community design policies that protect and enhance the hillsides, canyons, washes, and other significant natural features of the hills.	OS-2.2 OS-2.3	Community Development Dept. Public Services Dept.	Ongoing
9.0	All proposed roadways in the open space designation north of the East Side Dike shall include a viewshed analysis of the affected area showing both the existing and with-project views.	OS-2.2	Community Development Dept. Public Services Dept.	Ongoing
10.0	Review all development proposals in the Indio Hills area for visual impacts and compatibility with the community design policies of the General Plan.	OS-2.3	Community Development Dept. Public Services Dept.	Ongoing

4.2 SOILS

GOAL SO-1

Ensure the protection of soils from erosion by wind and water, and from the buildup of salts on productive agricultural lands.

Policy SO-1.1

Soil Erosion from Grading

The City shall control grading of land to minimize the impact of soil erosion from wind, water, and landslides in areas of unstable slopes; and reduce negative aesthetic impacts in areas of significant landforms. (Also refer to Policies for Air Quality regarding wind/blow sand.)

Policy SO-1.2

Unstable Soils/Steep Terrain

In areas of unstable soils and steep terrain, limit the intensity of development.

Policy SO-1.3

Agricultural Impacts to Soils

Coordinate with the Coachella Valley Resource Conservation District and agricultural property owners to develop a management program to minimize the impacts of tilling and grading on soil erosion.

Policy SO-1.4

Salts in Soil

Promote sound agricultural processes that eliminate the buildup of salts in the soils.

SOILS IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall develop and implement a soil erosion control management plan. The City shall solicit comments and recommendations from the South Coast Air Quality Management District, the U.S. Department of Agriculture Soil Conservation Service, and the Coachella Valley Resources Conservation District in formulating such a plan.	SO-1.1 SO-1.2 AQ-1.3	Community Development Dept. Public Service Dept.	Within 6 months of adoption of General Plan
2.0	The City shall review all grading plans for consistency with the soil erosion control management plan.	SO-1.1 SO-1.2	Community Development Dept. Public Services Dept.	Ongoing
3.0	For all development proposals in steep terrain and unstable soils, the City shall require that a soils report be prepared by a California registered geologist. The soils report shall be required prior to construction, and the recommendations of the geologist shall be incorporated into the development design and conditions of approval.	SO-1.2	Community Development Dept. Public Services Dept.	Ongoing

SOILS IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
4.0	The City shall develop a program to coordinate with the U.S. Department of Agriculture, Soil Conservation Service and the Coachella Valley Resource Conservation District in providing the latest technological information to farmers regarding farming practices and crops that reduce or eliminate the buildup of salts in soils and reduce the erosion of soils from tilling and grading.	SO-1.3 SO-1.4	Community Development Dept.	Within 2 years of adoption of General Plan

4.3 AGRICULTURAL RESOURCES

GOAL AR-1

Require sound agricultural practices to minimize environmental damage and maximize production capabilities.

GOAL AR-2

Protect the continuation of agricultural production in the Planning Area as urban development continues.

Policy AR-1.1

Pesticides

Support state and federal legislation that limits the amounts and types of pesticides used that may have a

significant adverse impact on water quality and human health.

Policy AR-2.1

Minimize Land Use Conflicts

The City shall minimize conflict between urban land development and existing agriculture uses.

Policy AR-1.2

Reclaimed Water

Support a program that would supply reclaimed water for agricultural uses.

AGRICULTURAL RESOURCES IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who Is Responsible	Timeframe
1.0	Coordinate with the County and State Department of Agriculture in disseminating information to farmers within the Planning Area regarding the most efficient farming practices.	AR-1.1	Community Development Dept.	Ongoing
2.0	Coordinate with the VSD and CVWD in developing a program to provide reclaimed water for agricultural uses. (Refer to Water Resources Implementation Measure 10.0).	AR-1.2 WR-1.1 WR-2.1	Public Services Dept.	Within 2 years of adopting General Plan
3.0	Require architectural, roadways, open space, and natural buffers between existing agricultural and proposed urban land uses.	AR-2.1	Community Development Dept.	Ongoing
4.0	Avoid "leap frog" development in areas containing viable agriculture. The City should approve new developments that are adjacent to or near existing development.	AR-2.1	Community Development Dept.	Ongoing

AGRICULTURAL RESOURCES IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
5.0	Amend the City's zoning code to allow temporary and flexible land uses on agricultural lands that will allow farmers to convert agricultural lands to urban uses over a specified period of time.	AR-2.1	Community Development Dept.	Within 1 year of adoption of General Plan

4.4 WATER RESOURCES

GOAL WR-1

Protect surface and subsurface water resources in the Coachella Valley that are impacted by actions within the Planning Area.

Policy WR-1.1

Ensure Clean Water

The City shall ensure that development projects do not degrade surface waters and groundwater basins.

GOAL WR-2

Require sound water conservation measures to ensure water availability to all persons living, working, and visiting the community and the Coachella Valley.

Policy WR-2.1

Water Conservation

The City shall ensure that water conservation measures are implemented in all development projects.

Policy WR-2.2

Reclaimed Water

The City will work with all providing agencies and developers to ensure that reclaimed water is made available and is used in the Planning Area.

WATER RESOURCES IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall require that all new developments adhere to the NPDES permit program for stormwater discharge.	WR-1.1	Community Development Dept. Public Services Dept.	Ongoing
2.0	The City shall develop standards that prohibit the discharge of commercial and industrial wastewater into the groundwater basin.	WR-1.1	Public Services Dept.	Within 6 months of adoption of General Plan
3.0	The City shall identify areas with a high groundwater table and prohibit the use of septic tanks unless appropriate mitigation measures are provided.	WR-1.1	Public Services Dept. Community Development Dept.	Within 6 months of adoption of General Plan
4.0	The City shall establish a minimum lot size; nonurban areas, to adequately use a septic system.	WR-1.1	Community Development Dept.	Ongoing

WATER RESOURCES IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
5.0	The City shall work with CVWD and the Desert Water Agency (DWA) to implement guidelines identified in its groundwater recharge programs.	WR-2.1 AR-1.2	Public Services Dept.	Ongoing
6.0	The City shall work with CVWD to educate the agricultural community on methods to reduce groundwater contamination due to pesticides applied to agricultural soils and crops.	WR-1.1 AR-1.1	Public Services Dept.	Ongoing
7.0	The City shall develop and implement a public education program on water conservation.	WR-2.1	Community Development Dept. Public Services Dept.	Within 1 year of adoption of General Plan
8.0	The City shall work with DWA and CVWD to develop landscape and irrigation system guidelines.	WR-2.1	Community Development Dept.	Within 1 year of adoption of General Plan
9.0	The City shall require that all new construction be equipped with water-conserving plumbing fixtures that conform to state statutes and codes.	WR-2.1	Community Development Dept.	Ongoing
10.0	The City shall encourage the use of drought-tolerant desert landscape planting in all new developments.	WR-2.1	Community Development Dept.	Ongoing
11.0	The City shall work with VSD and CVWD to extend reclaimed water lines throughout the community for use in landscape medians, golf courses, and industrial projects.	WR-2.1 WR-2.2	Public Services Dept.	Ongoing
12.0	The City shall work with DWA and CVWD to develop and facilitate programs to reduce water consumption in residential, commercial, and industrial projects.	WR-2.1 WR-2.2	Public Services Dept. Community Development Dept.	Within 1 year of adoption of General Plan
13.0	The City shall work with CVWD to reduce the amount of groundwater used for agriculture. This includes programs to provide reclaimed water lines, with the long-term ability to use these lines for residential and other uses in the future.	WR-2.1 WR-2.2	Public Services Dept.	Ongoing

WATER RESOURCES IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
14.0 The City shall work with VSA and CVWD to develop a dual irrigation systems for domestic and reclaimed water.	WR-2.1 WR-2.2	Community Development Dept. Public Services Dept.	Ongoing
15.0 The City and other sewer and water providers in the Planning Area shall work together to prepare a plan to provide trunk infrastructure for reclaimed water.	WR-2.1 WR-2.2	Public Services Dept.	Within 1 year of adoption of General Plan
16.0 Funding for reclaimed water trunk distribution and storage shall be included in any assessment district developed to finance infrastructure.	WR-1.1 WR-2.2	Public Services Dept.	Ongoing

4.5 BIOLOGICAL RESOURCES

GOAL BIO-1

Preserve and protect sensitive plant and wildlife resources within the Planning Area. Figures 4.5-2 and 4.5-3 in the ESR show these sensitive areas.

Policy BIO-1.3

Encourage the Protection/ Enhancement of Native Habitats

Encourage the protection/
enhancement of sensitive native habitats throughout
the Planning Area.

Policy BIO-1.1

Protect Fan Palm Oases

Protect and preserve the desert fan palm oases located in the southern slopes of the Indio Hills.

Policy BIO-1.4

Educate Public

Work with public and private entities in educating the general public as to the importance of the Coachella Valley natural biological ecosystem.

Policy BIO-1.2

Protect Upland Habitat

Protect upland habitat in the Indio Hills area.

Policy BIO-1.5

Fringe-Toed Lizard Habitat

Support the efforts of the Coachella Valley Fringe-Toed Lizard Habitat Conservation Plan.

BIOLOGICAL RESOURCES IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall require a biological study to be prepared by a qualified biologist for proposed development within areas that contain a moderate to high potential for sensitive habitat as shown on Figures 4.5-2 and 4.5-3 in the ESR. The biological study shall be prepared as a requirement of the environmental processing on the project unless staff determines that the site's current state of development would preclude the funding of sensitive resources. Agricultural use or plowing of site does not eliminate probability of sensitive resources.	BIO-1.1 BIO-1.2 BIO-1.3 BIO-1.4	Community Development Dept.	Development Review
2.0	The City shall review development plans within the Indio Hills area for the existence of fan palm oases. Require that fan palm oases be preserved as open space and limit access to them by the general public.	BIO-1.1	Community Development Dept.	Development Review Ongoing

BIOLOGICAL RESOURCES IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
3.0	The City shall require that drought-tolerant plants be included in landscaping for golf courses, residences, open space belts, public buildings, industrial and commercial land uses, health care facilities, schools, and roadway medians.	BIO-1.2 BIO-1.3	Community Development Dept.	Development Review
4.0	The City shall work with the CVWD to maintain flood control channels in their natural state to preserve and protect existing riparian habitat and wildlife movement corridors.	BIO-1.3 BIO-1.5	Community Development Dept. Public Services Dept.	Ongoing
5.0	The City shall encourage the development of ponds/lakes throughout the City to support migratory birds losing habitat at the Salton Sea.	BIO-1.3	Community Development Dept.	Development Review Ongoing
6.0	The City shall develop a list of drought-tolerant native vegetation to be used as a landscape pallet for use by the City and general public. The list shall be disseminated in City water bills by the Community Development and Public Services Departments to prospective developers and to all residents.	BIO-1.3 BIO-1.2	Community Development Dept. Public Services Dept. Finance Dept.	Within 1 year of adoption of General Plan
7.0	The City shall develop a program to coordinate the with biologists knowledgeable in Coachella Valley ecosystems, school districts, the Coachella Valley Mountains Conservancy, the Santa Rosa Mountain National Scenic Area Steering Committee, Bureau of Land Management, U.S. Fish and Wildlife Service, and State Department of Fish and Game in disseminating information to the general public about the importance of the Coachella Valley natural biological systems.	BIO-1.5 BIO-1.6	Community Development Dept.	Within 2 years of adopting General Plan

BIOLOGICAL RESOURCES IMPLEMENTATION MEASURES

Implementation Measure		Implements What Policy	Who is Responsible	Timeframe
8.0	The City shall develop a program to coordinate with the Coachella Valley Fringed-Toed Lizard Habitat Conservation Preserve to disseminate and exchange information regarding the preserve's current operations.	BIO-1.5 BIO-1.6	Community Development Dept.	Within 2 years of adopting General Plan

4.6 ENERGY CONSERVATION

GOAL EC-1

Promote the conservation of energy resources in new and existing developments.

Policy EC-1.1

Energy Conservation Measures

The City shall ensure that energy conservation measures are implemented in all development projects.

ENERGY CONSERVATION IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall require the incorporation of energy-conserving features in new construction and remodels in accordance with state law.	EC-1.1	Community Development Dept.	Development Review Building Permit Ongoing
2.0	The City shall promote and encourage the use of energy conservation programs available through IID, SCE, the State of California, and Riverside County.	EC-1.1	Community Development Dept. Public Services Dept.	Ongoing
3.0	Through the building review process, the City shall encourage the use of solar power for water and space heating in areas where feasible.	EC-1.1	Community Development Dept.	Development Review Building Permit
4.0	Through the design review process, the City shall encourage developers to design and orient projects in a manner that increases energy efficiency.	EC-1.1	Community Development Dept.	Development Review Ongoing
5.0	The City shall work with IID to develop and facilitate programs to reduce electrical demand in residential, commercial and industrial developments.	EC-1.1	Public Work Dept. Community Development Dept.	Ongoing

4.7 MINERAL RESOURCES

GOAL MR-1

Protect the current and future extraction of mineral resources that are important to the regional economy while minimizing impacts of this use on the community.

Policy MR-1.1

Allow Mineral Extraction

In those areas that have been designated by the State Mining and Geology Board as containing significant aggregate resources (MRZ-2 zone) allow mineral extraction with an approved mining and reclamation plan (see map of significant resources on Figure 4.7-1 in the ESR).

Policy MR-1.2

Mining and Reclamation Plans

Require a mining and reclamation plan for all proposed mining operations to be consistent with the California Surface Mining and Reclamation Act as amended and the California Environmental Quality Act (CEQA).

Policy MR-1.3

Buffer Zones

Require buffer zones between proposed mining operations and residential and commercial land uses.

Policy MR-1.4

Temporary Land Uses

Allow temporary land uses in areas designated as MRZ-2 zones that will not interfere with or preclude mining activities in the future.

Policy MR-1.5

Mining Access Roads

Require that access roads to mining operations be constructed and maintained to limit adverse impacts on residences from dust, noise, and erosion.

Policy MR-1.6

Impact Mitigation

The City shall ensure that mining operations contribute equitably for the maintenance of roadway systems and other infrastructure in the Planning Area.

Policy MR-1.7

Annexation of Active Mines

The City will attempt to annex area used for mining activities in order to capture any sales tax or related revenues as a means of paying for mine impacts.

MINERAL RESOURCES IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	<p>The City shall develop and adopt policies and procedures that implement the California Surface Mining and Reclamation Act 1975 (SMARA) allowing mining and mining-related activities in resource recovery land use areas. The policies shall contain, but are not limited to, the following:</p> <ul style="list-style-type: none"> ▶ Provide procedures that will allow the extraction of mineral resources in designated areas with an approved mining and reclamation plan. ▶ Require environmental review and mitigation of impacts consistent with the most current version of the CEQA and applicable state and federal environmental laws. ▶ Develop a list of requirements to be incorporated in a mining and reclamation plan application form that must be provided by an applicant that provides all the information necessary to meet the needs of SMARA, CEQA, and the City. ▶ Provide procedures for the notification of the State Geologist for the filing of an of mining and reclamation plan application. ▶ Develop procedures for the processing and review of a mining and reclamation plan application. 	<p>MR-1.1 MR-1.2</p>	<p>Community Development Dept.</p>	<p>Prior to annexation of any portion of the Planning Area containing significant mineral resources</p>

MINERAL RESOURCES IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
2.0	<p>The City shall review development applications in proximity to areas designated for mineral extraction for land use compatibility.</p> <p>Land use compatibility for mineral resource activities can be defined as follows:</p> <ul style="list-style-type: none"> ► Compatible - Structures and infrastructure that do not require a high degree of public or private investment and would allow the development of mineral resource lands because their economic value would be less than that of the mineral extraction operation. Such land use would include very low residential density (hillside estates 1 unit per acre), heavy industry related to mineral extraction, agriculture, recreational, and open space. ► Incompatible - Structures and infrastructure that require a high degree of public or private investment that would preclude the development of mineral resource lands because their economic value would be greater than that of the mineral extraction operation. Such land uses would include medium to high residential, commercial, and industrial land uses that are not related to mineral extraction and public facilities. ► Buffering - The use of adequate distance or barrier between the mineral extraction operation and incompatible land uses. Buffering should be adequate to mitigate public health and safety impacts such as dust, noise, visual, and vibration of the mining activity. 	<p>MR-1.2 MR-1.3 MR-1.4</p>	<p>Community Development Dept.</p>	<p>Ongoing</p>

MINERAL RESOURCES IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who Is Responsible	Timeframe
<p>► Interim - Land uses that are limited to a certain time period and require structures, landscaping and improvements that can be converted to a mining-based activity at the end of the land uses life span. The period of the interim use should be compatible with the production of mineral resources and not interfere with the usefulness of the improvements.</p>			
<p>3.0 Develop a procedure that would allow the City to review and comment on development applications and related environmental documents within the jurisdiction of Riverside County for lands adjacent to the City's designated resource recovery land use area. Applications shall be reviewed for land use compatibility and issues related to public health and safety.</p>	<p>MR-1.1 MR-1.3 MR-1.4</p>	<p>Community Development Dept.</p>	<p>Within 1 year of adoption of General Plan</p>
<p>4.0 Require mining operations to have an approved mining and reclamation plan prior to the start of mining operations.</p>	<p>MR-1.2 MR-1.5</p>	<p>Community Development Dept.</p>	<p>Ongoing</p>

4.8 CULTURAL RESOURCES

4.8.1 Definitions

- **Prehistoric and Ethnohistoric Archaeological Sites:** Prehistoric sites represent the material remains of Native American societies and their activities, dating from at least 12,000 years ago up to the arrival of European settlers. Ethnohistoric sites are defined as Native American settlements occupied after the arrival of European settlers in California and date to the late 1700s and 1800s.

Such sites include villages, seasonal camp sites, rockshelters, stone tool quarry sites, food procurement and processing sites, hunting blinds, hand dug wells, traditional trails and trail shrines, and sites with rock carvings or paintings.

- **Historic Archaeological Sites and Historic Buildings:** The activities of European settlers in California since the 1700s have created historic archaeological sites. Important historic archaeological sites are usually defined as being at least 45 years old; however, more recent sites are also sometimes important. These sites often relate to farming, mining, residential, and/or commercial activities.

Historic archaeological sites include all vestiges of historic activity other than intact (standing) historic buildings. However, historic archaeological sites may include standing historic buildings within their boundaries and historic buildings often have associated historic archaeological remains, such as historic "middens" (trash areas) or features (e.g., wells, cisterns, and privies).

Historic buildings include basically all intact structures whose major function is to enclose space. Such sites include, but are not limited to, residential, commercial, and government buildings; ranch or farm houses, barns, bunkhouses, and other associated buildings; factories and warehouses; hospitals; and so forth.

- **Areas of Traditional Cultural Significance:** These are areas that have been, and often continue to be, of economic and/or religious significance to peoples today. They include Native American sacred areas where religious ceremonies are practiced or are central to their origins as a people. They also include areas where Native Americans gather plants for food, medicinal, or economic purposes. A certain measure of protection is provided for such resources by California state law (Public Law 95-341).
- **Paleontological Resources:** Paleontological resources include both fossil localities (exposures) and sensitive geological formations or portions thereof, that contain important vertebrate and/or invertebrate fossil remains that can inform us about the evolution of life.

4.8.2 Goals and Policies

GOAL CR-1

Preserve historic, archaeological, and paleontological resources for their scientific, educational, aesthetic, and cultural values.

Policy CR-1.1

Cultural Resource Constraints

Identify through appropriate research the presence and significance of historical, archaeological, and paleontological resources (sites) and encourage land use planning that uses this information during the earliest stage of environmental review and/or during a project's conceptual design phase.

Policy CR-1.2

Historic Preservation

Encourage the preservation of significant prehistoric or historic archaeological sites, historic buildings or structures, area of traditional cultural significance, or paleontological formations/fossils.

**Policy
CR-1.3****Development Review**

Ensure that adequate site review and mitigations are implemented for development sites in the Planning Area.

**Policy
CR-1.5****Public Awareness**

The City shall work to take advantage of the City's rich history in the promotion of Indio as the cultural center of the Coachella Valley.

**Policy
CR-1.4****Preservation Incentives**

Develop programs that provide incentives to preserve, restore, and rehabilitate significant historic buildings and structures.

**Policy
CR-1.6****Public Education**

The City shall assist in educating the public on the history and prehistory of the area.

CULTURAL RESOURCES IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	<p>Figure 4.8-1 in the ESR indicates the relative sensitivity (potential) for cultural resources in the Planning Area. The goal of sensitivity designations is to serve as a guide for a constraints analysis of the property covered by the Master Environmental Assessment. Such sensitivity labels should not be used to make negative declarations for cultural resources. All property development covered under CEQA and Appendix K of its implementing guidelines or Section 106 of the National Historic Preservation Act (NHPA) shall be surveyed by a professional archaeologist prior to project approval.</p> <p>The City Planning Department shall include the Eastern Archaeological Information Center Notice of Preparation mailings for pending projects and request their recommendations on the need for a records check and/or survey.</p>	CR-1.1 CR-1.4	Community Development Dept.	Development Review Ongoing

CULTURAL RESOURCES IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
<p>Archaeologists working for the City of Indio should make an effort to contact local Native American representatives associated with the Cabezón, Torres-Martínez, and Agua Caliente Indian Reservations. Native American knowledge and concerns should be elicited and copies of archaeological reports should be provided to at least one of the local groups. Archaeologists are encouraged to use a local Native American to monitor for the presence of human remain during excavation projects.</p> <p>Low and moderate sensitivity ratings for a given area do not mean that no survey is required (see below).</p>			
2.0	Those areas of undetermined sensitivity for paleontological resources as shown on Figure 4.8-12 in the ESR the City shall require that a field assessment be conducted by a qualified vertebrate paleontologist prior to approval of a development proposal. If it is determined that the project will be located entirely or partially on sediments of high sensitivity, a site-specific paleontological resources mitigation program shall be required.	CR-1.1 CR-1.4	Community Development Dept.

CULTURAL RESOURCES IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
<p>In those areas of low sensitivity for paleontological resources, a paleontological resources mitigation program shall not be required except in areas that contain recent alluvium and/or sand dunes that are interfingering or overlain with a thin veneer of older lake sediments. These areas require the same process as required with undetermined sensitivity of paleontological resources. Require as conditions of approval for all project proposals that will entail construction within areas of low sensitivity of paleontological resources, that if fossils are encountered during development, the developer shall contact the San Bernardino County Museum or a qualified vertebrate paleontologist for removal of the resources and recommendations for further mitigation if necessary.</p>			
<p>3.0 The City of Indio should create a Historic Preservation Commission that includes representatives from City staff, Coachella Valley Archaeological Society, the Coachella Valley Historical Society, and the Native American community. The City should also follow guidelines on composition available from the State Historic Preservation Office (SHPO). Their role would be to review archaeological reports with the goal of recognizing and recommending the preservation of important cultural resources, especially those that may be eligible for listing on the NRHP. This Commission would act in an advisory capacity to the City.</p>	CR-1.2	City Manager Community Development Dept.	Within 1 year of adoption of General Plan

CULTURAL RESOURCES IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who Is Responsible	Timeframe
<p>4.0 Historic buildings and structures, as well as potential historic districts, have been identified within the City Planning Area (see Tables 4.8-2 and 4.8-3, and Figures 4.8-10 and 4.8-11 in the ESR). Many require professional assessment to establish their historic significance; this is particularly true of the districts that have been tentatively identified on Figure 4.8-3.</p> <p>The City shall require a historic buildings survey and evaluation of those areas containing potentially significant historic structures or districts (see Figures 4.8-10 and 4.8-11 in the ESR). This survey and evaluation should be conducted by a professional architectural historian. Such studies shall be a requirement of the environmental review process.</p>	CR-1.2	City Manager Community Development Dept.	Within 2 years of adoption of General Plan
<p>5.0 Significant historic buildings that cannot be preserved or cannot be rehabilitated and integrated into the proposed project should be appropriately documented prior to demolition using a combination of archival and photographic methods. Such documentation can be done at the appropriate level of HABS (Historic American Building Survey) documentation developed by the National Park Service.</p>	CR-1.2	Community Development Dept.	Ongoing

CULTURAL RESOURCES IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
6.0	<p>As part of an effort to establish the City's historic preservation needs, the City and the Historic Preservation Commission should establish a priority list of significant historic buildings that should be preserved. Advice on historic preservation issues can also be sought from the History Division of the Riverside County Regional Park and Open-Space District and from the Office of Historic Preservation in Sacramento.</p> <p>With the assistance of a historic preservation specialist, the City and the Commission will establish design and seismic criteria for historic structures and sites and review applications on historic resources for design compliance. Design and seismic criteria will meet those established by the State of California Historic Building Code.</p> <p>The Development Code shall be revised to make provisions for the reuse of significant historic structures. This would include setback and parking restrictions that are not as restrictive as those generally required on new structures.</p>	CR-1.2	City Manager Community Development Dept.	Within 2 years of adoption of General Plan
7.0	The City of Indio shall consider establishing other historic programs with the guidance of the California Office of Historic Preservation and its local Cultural Historic Preservation. Other programs may include benefits for granting easements, rehabilitating facades, the use of Mills Act preservation contracts, and/or zoning.	CR-1.2	City Manager Community Development Dept.	Within 1 year of adoption of General Plan

CULTURAL RESOURCES IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
8.0	Most development projects in the City will fall under CEQA. However, the City shall review redevelopment projects involving federal funds and projects requiring a 404 Permit from the U.S. Army Corps of Engineers under the NHPA and Section 106 review process. The latter requires the review and participation by the lead federal agency, the SHPO, and the Advisory Council on Historic Preservation (ACHP).	CR-1.1 CR-1.3	Community Development Dept.	Development Review Ongoing
9.0	The City of Indio staff should keep confidential the specific locations of unprotected sites to prevent vandalism and looting.	CR-1.1 CR-1.3	Community Development Dept.	Ongoing
10.0	The City shall adopt a Historic Preservation Ordinance in consultation with the California Office of Historic Preservation.	CR-1.2 CR-1.4	Community Development Dept.	Within 2 years of adoption of General Plan
11.0	The City shall work with the Coachella Valley Archaeological Society and the Coachella Valley Historical Society, in association with the Indio Chamber of Commerce, the Coachella Conference and Visitors Bureau, and the Riverside County Economic Development Department, to develop cultural programs and the informational resources of the City.	CR-1.5 CR-1.6	Community Development Dept. City Manager	Ongoing
12.0	The City shall work with the local media to coordinate information about the celebration of significant periods and events of the City's prehistoric and historic past.	CR-1.5 CR-1.6	City Manager	Ongoing

PUBLIC HEALTH & SAFETY

5.1 NOISE

GOAL NOI-1

Protect those living, working, and visiting the community from exposure to excessive noise.

Policy NOI-1.1

Sensitive Receptors

Prohibit the development of new commercial, industrial, or other noise-generating land uses adjacent to existing residential uses and sensitive noise receptors such as schools, health care facilities, libraries, and churches if noise levels are to exceed 65 dBA CNEL (decibels on A-weighted scale Community Noise Equivalent Level).

Policy NOI-1.2

Sleep Interference

Ensure that excessive noise levels do not interfere with sleep through the implementation of land use requirements.

Policy NOI-1.3

Protect Residential Areas

Ensure that exterior noise levels for dwellings in residential areas do not exceed exterior noise levels of

65 dBA CNEL and interior noise levels of 45 dBA CNEL.

Policy NOI-1.4

Railroad Noise

Work with railroad operators to provide noise barriers in areas that may impact sensitive noise receptors.

Policy NOI-1.5

Highway Noise

Work with Caltrans and the Federal Highway Administration to mitigate noise impacts on sensitive noise receptors along Interstate 10.

Policy NOI-1.6

Construction Noise

Provide guidelines to contractors for reducing potential noise impacts on surrounding land uses.

NOISE IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0 Areas within the City where noise levels exceed 65 dBA CNEL as shown on Figure 5.1-2 in the ESR shall be used as a guide to future land use considerations within the Planning Area.	NOI-1.1 NOI-1.2 NOI-1.3	Community Development Dept.	Development Review
2.0 The City shall require sound attenuation features such as walls, berming, and heavy landscaping between commercial and industrial uses and residential uses to reduce noise and vibration.	NOI-1.1 NOI-1.2 NOI-1.3	Community Development Dept. Building Dept.	Development Review Ongoing
3.0 The City shall require the project applicant to prepare an acoustical analysis for development proposals containing sensitive noise receptors (such as residential uses) within noise-impacted areas or in areas that contain a known or proposed noise generator. A study shall also be required if a noise generator has the potential to impact existing sensitive land uses. The appropriate time to require an acoustical analysis is during the environmental review process when mitigation can be developed to lessen noise impacts and incorporated into the project design. Acoustical analysis shall: <ul style="list-style-type: none"> ▶ be prepared by an individual who is experienced in the preparation of acoustical analyses, ▶ include an explanation of the methodology used in sampling of existing noise levels, 	NOI-1.1 NOI-1.2 NOI-1.3	Community Development Dept.	Development Review

NOISE IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
<ul style="list-style-type: none"> ▶ include an estimate of the projected noise levels as a result of the proposed project or the projected levels of noise to which the proposed project will be subjected, ▶ include mitigation measures to reduce high noise levels on the proposed project or as a result of the proposed project, and ▶ demonstrate consistency with the General Plan goals and policies. 			
4.0 Where attenuation for excessive noise is necessary, the City shall require alternatives to walls such as open space, earthen berms, landscaping, and locating parking and buildings between the noise generator and sensitive receptors.	NOI-1.1 NOI-1.2 NOI-1.3	Community Development Dept.	Development Review
5.0 In areas in where sound walls are to be used, the City shall require that sound walls be designed and located to lessen the impact of noise bounce-back. Such walls shall include design features specified in the Community Design subelement.	NOI-1.1 NOI-1.2 NOI-1.3 CD-1.3	Community Development Dept.	Development Review
6.0 The City shall communicate on a regular basis with the railroad to coordinate and provide City input into expansion plans for railroad lines and switching yards. Request that the responsible railway company provide noise attenuation features in its engineering designs to lessen the impact of train-generated noise on sensitive receptors.	NOI-1.4	Community Development Dept.	Ongoing
7.0 Construction activities shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Saturday. No construction shall occur on Sundays or national holidays without a special permit.	NOI-1.6	Community Development Dept. Public Services Dept.	Ongoing Construction Monitoring

NOISE IMPLEMENTATION MEASURES

Implementation Measure		Implements What Policy	Who is Responsible	Timeframe
8.0	Construction staging areas, water tanks, and other support areas shall be located as far from residential and other sensitive receptors as possible. These use areas shall be noted on a project plan submitted with the grading plan.	NOI-1.6	Community Development Dept. Public Services Dept.	Ongoing Construction Monitoring

5.2 AIR QUALITY

GOAL AQ-1

Support air quality measures designed to reduce harmful levels of pollutants, including airborne dust.

Policy AQ-1.1

AQMD Management Plan

Adopt, support, and implement the South Coast Air Quality Management Plan, as it relates to the Coachella Valley (PM_{10}).

Policy AQ-1.2

Attainment Programs

Participate in the South Coast Air Quality Management District's attainment programs.

Policy AQ-1.3

Particulate Emissions

Reduce particulate emissions from paved and unpaved roads, construction activities, and agricultural operations.

Policy AQ-1.4

Transportation Management Plan

Encourage public and private businesses to implement employee use of rideshare programs, public transportation, and/or alternatives to motorized transportation such as bicycling or walking to work.

Policy AQ-1.6

Traffic Flow

Encourage traffic flow improvements that reduce vehicular emissions.

Policy AQ-1.6

Energy Conservation

Encourage the efficient use of energy saving devices in public and private buildings.

Policy AQ-1.7

Solar Energy

Encourage the use of solar energy in new structures.

Policy AQ-1.8

Reduction of Work Trips

Encourage reducing of the length of work trips.

Policy AQ-1.9

Reduce Stationary Emissions

Reduce stationary emissions of operation-related activities.

Policy AQ-1.10

Monitor Regional Development

Publicly object to development proposals within the Coachella Valley that do not adequately address and mitigate air quality impacts, especially fugitive dust.

AIR QUALITY IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall continue to enforce the City's PM_{10} Plan. Revise the plan as necessary to incorporate new technology and methods to reduce PM_{10} as the information becomes available.	AQ-1.1 AQ-1.2 AQ-1.3	Community Development Dept.	Ongoing

AIR QUALITY IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
2.0 The City shall develop a plan to coordinate and share information on air quality issues with the AQMD.	AQ-1.1 AQ-1.2	Community Development Dept.	Within 2 years of adoption of General Plan
3.0 The City shall require development projects for hospitals, schools, high-occupancy public facilities, industrial, commercial, and office land uses to provide mitigation to reduce vehicular use. Mitigation may include, but is not limited, to the following: <ul style="list-style-type: none"> ▶ providing bicycle lanes, onsite storage areas, and amenities; ▶ providing efficient parking management; ▶ providing peripheral park-n-ride lots; ▶ providing preferential parking to high-occupancy vehicles and shuttle service; ▶ charging parking lot fees to low occupancy vehicles; and ▶ establishing telecommuting programs, alternative work schedules, and satellite work centers. 	AQ-1.1 AQ-1.2 AQ-1.3 AQ-1.4 AQ-1.8 AQ-1.9	Community Development Dept.	Development Review and Certificate of Occupancy
4.0 The City shall require as a condition of approval for industrial, commercial, and office projects a Transportation Management Program that is consistent with the City's circulation policies of the General Plan.	AQ-1.1 AQ-1.2 AQ-1.4	Community Development Dept.	Development Review and Certificate of Occupancy

AIR QUALITY IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
<p>5.0 For proposed projects that are considered to be regionally significant as defined by CEQA and the AQMD, the City shall require that an air quality analysis be prepared by a qualified professional. Recommended mitigation for air quality impacts during construction shall consist of, but are not limited to, the following:</p> <ul style="list-style-type: none"> ▶ require the use low-emission mobile construction equipment (e.g., tractor, scraper, dozer, and so forth) for all private and public projects; ▶ require the development of a trip reduction plan to achieve 1.5 average rideshare (AVR) for construction employees; ▶ maintain construction equipment engines by keeping them tuned; ▶ use low-sulfur fuel for stationary construction equipment; ▶ use existing power sources (e.g., power poles) or clean fuel generators rather than temporary power generators; ▶ use low-emission onsite stationary equipment; ▶ require a phased schedule for construction activities to minimize emissions; ▶ use construction activity management techniques, such as extending the construction period, reducing the number of pieces of equipment used simultaneously, increasing the distance between the emission sources, and reducing or changing the hours of construction. 	<p>AQ-1.1 AQ-1.2 AQ-1.3 AQ-1.4 AQ-1.5 AQ-1.6 AQ-1.8</p>	<p>Public Services Dept. Community Development Dept.</p>	<p>Development Review Construction Monitoring</p>

AIR QUALITY IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
<ul style="list-style-type: none"> ▶ reduce dust emissions during construction. <ul style="list-style-type: none"> ▶▶ water site and clean equipment morning and evening, or as needed; ▶▶ spread soil binders on site, unpaved roads, and parking areas and/or apply AQMD approved chemical soil stabilizers according to manufacturers' specifications to all inactive construction areas (previously graded areas that remain inactive for 96 hours); ▶▶ suspend all grading operations when wind speeds (as instantaneous gusts) exceed 25 miles per hour; ▶▶ wash off vehicles leaving the site; ▶▶ reestablish ground cover on construction site through seeding and watering; ▶▶ pave construction roads and sweep streets if silt is carried over to adjacent public thoroughfares; ▶▶ reduce traffic speeds on all unpaved road surfaces to 15 miles per hour or less; and ▶▶ suspend grading operations during first and second stage smog alerts. 			

AIR QUALITY IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
6.0	<p>The City shall prepare and implement a program to ensure the efficient flow of traffic within the Planning Area.</p> <ul style="list-style-type: none"> ▶ synchronize traffic signals, ▶ configure parking to minimize traffic interference, ▶ schedule goods movements for offpeak traffic hours, ▶ provide adequate ingress and egress at all entrances of public facilities to minimize vehicle idling at curbsides, and ▶ provide dedicated turn lanes as appropriate. 	<p>AQ-1.1 AQ-1.2 AQ-1.5</p>	<p>Public Services Dept. Community Development Dept.</p>	<p>Within 2 years of adoption General Plan</p>
7.0	<p>Prior to issuance of grading permits, a traffic plan to minimize traffic flow interference from construction activities shall be submitted and approved. The plan may include:</p> <ul style="list-style-type: none"> ▶ advance public notice of routing, ▶ use of public transportation, ▶ minimize obstruction of through-traffic lanes, ▶ provide a flagperson to guide traffic properly and ensure safety at construction sites, and ▶ schedule operations affecting traffic for offpeak hours. 	<p>AQ-1.3 AQ-1.5</p>	<p>Public Services Dept. Community Development Dept.</p>	<p>Ongoing Prior to issuance of grading permits</p>

AIR QUALITY IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
8.0	<p>The City shall require development practices that maximize energy conservation as a prerequisite to building permit approval. Energy conservation measures may include, but are not limited to, the following:</p> <ul style="list-style-type: none"> ▶ Improving the thermal integrity of buildings, and reducing the need for heating with automated time clocks or occupant sensors. ▶ Introducing window glazing, wall insulation, and efficient ventilation methods for reducing the need for heating and air conditioning. ▶ Using efficient heating and other appliances, such as water heaters, cooking equipment, refrigerators, furnaces, and boiler units. ▶ Incorporating appropriate passive solar design and orientation into all buildings (including residential units). This can include awnings, roof overhangs, inset windows, and so forth. Landscaping with native drought-resistant species can also be used to reduce water consumption and provide passive solar benefits. ▶ Using devices that minimize the combustion of fossil fuels. ▶ Capturing waste heat and reusing it in nonresidential buildings. 	<p>AQ-1.5 AQ-1.7</p>	Community Development Dept.	Building Plan Check
9.0	The City shall amend the City's zoning and development code to require a buffer zone between a potential sensitive receptor's boundary and a potential pollution source.	AQ-1.2	Community Development Dept.	Within 1 year of adoption of General Plan

AIR QUALITY IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
10.0 The City shall review development proposals for projects within the immediate vicinity of Indio, including regionally significant transportation, residential, commercial, industrial, and mixed-use projects for regional air quality impacts. Publicly object to those projects that have impacts on air quality that cannot be mitigated to less than significant.	AQ-1.10	Community Development Dept.	Development review Ongoing

5.3 POLICE AND FIRE SERVICES

5.3.1 Police Services

GOAL PF-1

Provide police services in a manner and number to ensure a safe and secure environment for those living, working, or visiting the community.

Policy PF-1.1

Building Design and Crime

Continue to research and promote the use of building design as a means to decrease crime.

Policy PF-1.2

Education

Promote the use of volunteer and educational programs to assist police personnel.

Policy PF-1.3

Police Protection

Work to maintain adequate police protection capabilities.

Policy PF-1.4

Anti-Graffiti

Continue to implement an anti-graffiti program (see Community Design Policy 1.11).

5.3.2 Fire Services

GOAL PF-2

Provide fire services in a manner and number to ensure a safe and secure environment for those living, working, or visiting the community.

Policy PF-2.1

Fire Loss and Damage

Minimize fire losses and damage within the City.

Policy PF-2.2

Level of Service

Provide a level of service that is adequate to provide all members of the community with fire protection.

Policy PF-2.3

Public Awareness

Promote public awareness of fire and emergency procedures by developing new and expanding existing public fire safety and emergency life support education programs.

Policy PF-2.4

Service Evaluations

Continue to assess the need for fire services and develop new stations when and where they are needed.

Policy PF-2.5

Mutual Aid Agreements

Continue to participate in mutual aid agreements with surrounding jurisdictions in order to increase service capabilities for major fires.

**Policy
PF-2.6**

Funding

Assess the adequacy of the current funding structure for fire services and investigate new funding sources.

**Policy
PF-2.7**

Emergency Medical Services

Continue and expand, as necessary, a City-operated Advanced Life Support (ALS) Program.

POLICE AND FIRE SERVICES IMPLEMENTATION MEASURES

Implementation Measure		Implements What Policy	Who is Responsible	Timeframe
Police Services				
1.0	The City shall continue to research and promote the use of building design as a means to decrease crime.	PF-1.1	Police Dept. Community Development Dept.	Development Review Ongoing
2.0	The Police Department shall prepare a design guideline for crime prevention and make its recommendations available to the Community Development Department for incorporation into the new zoning code.	PF-1.1 PF-1.3	Police Dept.	Within 6 month of adoption of General Plan
3.0	The Police Department shall review all development proposals to assure that the maximum crime prevention techniques are implemented and the Community Development Department shall incorporate the Police Department's design recommendations into the City's environmental and design review process. Development plans shall be reviewed for: <ul style="list-style-type: none"> ▶ placement of doors, windows, private and public space, and landscaping; ▶ height of walls and fences; ▶ adequacy of outdoor lighting (see Community Design for standards); ▶ visibility of door and windows from the street; ▶ siting of buildings and roadways; and ▶ circulation patterns. 	PF-1.1 PF-1.3 CD-1.12	Police Dept. Community Development Dept.	Development Review Ongoing
4.0	The City shall promote the use of volunteers and educational programs to assist police personnel.	PF-1.2 PF-1.3	Police Dept.	Ongoing

POLICE AND FIRE SERVICES IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
5.0 The City shall maintain an anti-graffiti program using community volunteers that encourages cooperation with educational and civic groups. This program shall work at elimination of existing graffiti and prevention in the future. Also see anti-graffiti design requirements in Community Design subelement.	PF-1.4	Fire Dept.	Ongoing
6.0 The City shall encourage citizens to form neighborhood watch groups to aid the police in reducing crime in the community.	PF-1.2 PF-1.3	Police Dept.	Ongoing
7.0 The City shall work to improve police protection capabilities.	PF-1.	City Manager Police Dept.	Ongoing
8.0 The City shall continue its anti-gang program to curb gang influence in the community.	PF-1.4	Police Dept.	Ongoing
9.0 The Police Department shall try to maximize its services to the community while attempting to deal with budget cuts.	PF-1.3	Police Dept. City Manager	Ongoing
10.0 The City shall investigate alternative financial support for the police department.	PF-1.3	Police Dept.	Ongoing
11.0 The City shall attempt to meet and maintain its goal of 1.5 officers per 1,000 population, as recommended by the International City Managers' Association.	PF-1.1	Police Dept.	Development Review
12.0 Require new businesses, recreational, and commercial land uses such as shopping centers, health clubs, large hotels over 200 rooms, convention centers, and commercial recreational activities to provide onsite private security.	PF-1.1	Police Dept.	Development Review Ongoing
13.0 The Planning Department shall inform the Police Department of all new homeowners associations within the City. The Police Department shall coordinate with homeowners associations to establish Neighborhood Watch Program.	PF-1.2 PF-1.3	Community Development Dept. Police Dept.	Development Review Ongoing

POLICE AND FIRE SERVICES IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
Fire Services			
1.0 The City shall require fire sprinklers for all new buildings that are 200 square feet or greater in size.	PF-2.1	City Manager Fire Dept.	Adopt ordinance within 6 months of General Plan adoption Development Review
2.0 In existing developed portions of the Planning Area, the City shall maintain a 1.5-mile service radius. In areas developing after adoption of the General Plan, the City shall maintain a 2.5-mile service radius providing the area has been uniformly sprinklered. Proposed station locations at buildout of the Planning Area are shown on Figure 5.3-1 at the end of this section.	PF-2.1 PF-2.2	Fire Dept.	Ongoing
3.0 The Fire Department shall work to provide response times under 10 minutes for all incorporated areas of the Planning Area.	PF-2.1 PF-2.2	Fire Dept.	Ongoing
4.0 The City shall continue to assess the need for fire services and develop new stations when and where they are needed.	PF-2.1 PF-2.2 PF-2.4	Fire Dept.	Ongoing
5.0 The City shall continue to participate in mutual aid agreements with surrounding jurisdictions in order to increase service capabilities for major fires.	PF-2.5	Fire Dept.	Ongoing
6.0 The City shall assess the adequacy of the current funding structure for fire services and investigate new funding sources.	PF-2.6	Fire Dept.	Within 6 months of adoption of General Plan
7.0 The City shall encourage the coordination of emergency medical and ambulance services by the City of Indio Fire Department paramedics.	PF-2.7	Fire Dept.	Ongoing
8.0 The City shall educate the citizens of Indio regarding fire and emergency procedures.	PF-2.3 PF-2.7	Fire Dept.	Ongoing

5.4 EMERGENCY PREPAREDNESS

GOAL EP-1

Provide planning, response, and recovery capabilities to deal with the range of natural and manmade disasters that could impact the community.

Policy EP-1.2

Basic Emergency Operating Plan

Ensure that the City's basic emergency plan meets current federal, state, and local emergency requirements.

Policy EP-1.1

Education

Educate the public to the availability of the City's basic emergency operating plan.

Policy EP-1.3

Emergency Response Teams.

Ensure that the City's emergency response teams are prepared to respond to the public's needs in any emergency situation.

EMERGENCY PREPAREDNESS IMPLEMENTATION MEASURES

Implementation Measure		Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall develop a program to educate the public to the availability of the City's basic emergency operating plan and distribute a summary of the plan to community groups, schools, hospitals, church groups, and business associations, such as the Chamber of Commerce.	EP-1.1	City Manager's Office Police Dept. Fire Dept.	Within 1 year of adoption of General Plan
2.0	The City shall implement the policies and procedures of the City's basic emergency operating plan and review and update the plan a minimum of once every 5 years.	EP-1.1 EP-1.2	City Manager's Office	Ongoing
3.0	Once a year, the City's Fire and Police Departments in conjunction with other community emergency response groups shall conduct mock emergency situations to test the workability of the City's emergency operating plan.	EP-1.3	Director of Emergency Services	Once a year

5.5 HAZARDOUS MATERIALS

GOAL HM-1

Protect the public health, safety, and welfare through the planning and implementation measures for the siting, reporting, and transportation of hazardous materials in or through the Planning Area.

Policy HM-1.1

Education

Educate the public as to the types of household hazardous waste and the proper method of disposal.

Policy HM-1.2

Household Hazardous Waste

Ensure that household hazardous waste is disposed of properly.

Policy HM-1.3

Hazardous Materials Emergency Response Plan

Ensure the review, update, and implementation of the City's

Hazardous Materials Emergency Response Plan on a continual basis.

Policy HM-1.4

Hazardous Waste Facility Siting

Ensure that new hazardous waste facilities and those commercial and industrial land uses that use or produce hazardous waste are sited in an appropriate manner.

Policy HM-1.5

Contamination Prevention

Protect soils and surface and groundwater from contamination.

Policy HM-1.6

Emergency Evacuation Routes

Require that haulers of hazardous substances use the City's evacuation routes.

HAZARDOUS MATERIALS IMPLEMENTATION MEASURES

Implementation Measure		Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall develop a program to educate the general public about the types of hazardous materials that occur in the manmade environment, where hazardous materials can be disposed of, and the hazards to the environment if hazardous materials including household materials are not disposed of in an appropriate disposal facility. The program shall include coordination with the school district, Indio Chamber of Commerce, and various civic organizations.	HM-1.1 HM-1.2	Fire Dept.	Within 1 year of adoption of General Plan

HAZARDOUS MATERIALS IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
2.0 The City shall develop a household hazardous waste dropoff and transfer program. Coordination shall be made with jurisdictions that have such facilities in the Coachella Valley. This program should include a biannual collection of hazardous materials.	HM-1.1 HM-1.2	Fire Dept. Riverside County Environmental Health Dept.	Within 2 years of adoption of General Plan
3.0 The City shall develop a hazardous waste management plan consistent with the Tanner Act (Assembly Bill 2498) adopted by the state in 1986. The plan shall contain the following: <ul style="list-style-type: none"> ▶ an analysis of the existing waste stream and estimations of the amount of waste generated by 1994, ▶ the availability of hazardous waste treatment disposal facilities, ▶ the need for additional hazardous waste handling facilities based on the City's generation rate, ▶ methods to reduce hazardous waste and encourage recycling, ▶ identification of sites for hazardous waste facilities, ▶ siting criteria for locating hazardous waste facilities, and ▶ goals, objectives, and policies for hazardous waste facilities and hazardous waste management. 	HM-1.1 HM-1.4 HM-1.5	Fire Dept.	Within 1 year of adoption of General Plan
4.0 The City shall require, as a component of the environmental review process, a Level I Hazardous Materials inventory for all development applications on vacant land. Particular attention shall be paid to land that contained past agricultural uses.	HM-1.5	Fire Dept. Community Development Dept. Riverside County Environmental Health Dept.	Development Review

HAZARDOUS MATERIALS IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
5.0	The City shall review the Hazardous Materials Emergency Response Plan on an annual basis and include revisions to the plan based on regulatory requirements where necessary. Coordinate with the business community through the Indio Chamber of Commerce to inform them of the Hazardous Materials Emergency Response Plan and any updates or revisions to the plan.	HM-1.3	Fire Dept.	Once a year
6.0	The City shall develop siting and enforcement criteria for businesses that use and produce hazardous materials. The criteria shall be adopted as a provision in the City's zoning ordinance.	HM-1.4 HM-1.5	Community Development Dept. Fire Dept.	Within 1 year of adoption of General Plan
7.0	The City Police and Fire Departments shall develop evacuation plan with evacuation routes indicated on a map that is accessible to the general public.	HM-1.6	Fire Dept. Police Dept. California Highway Patrol	Within 6 months of adoption of General Plan

5.6 GEOLOGY AND SEISMICITY

GOAL GEO-1

Protect the public health, safety, and welfare and minimize the damage to structures, property, and infrastructure as a result of seismic activity.

Policy GEO-1.1

Alquist-Priolo Special Studies Zone

Ensure that property, structures, and human life within and in the vicinity of Alquist-Priolo Special Studies Zones are protected from seismic activity.

Policy GEO-1.2

Geologic Hazards

Discourage land uses that are considered critical from being located in areas subject to liquefaction hazards, fault rupture, landslides, and seismically induced seiches.

Policy GEO-1.3

Seiches/Water Tanks

Provide safety to property, structures and human life in areas that may be subject to seiches from water tank rupture.

Policy GEO-1.4

Hazardous Buildings

Require that all potentially hazardous buildings (i.e., unreinforced masonry, precast concrete tiltup, nonductile concrete frame, and soft-story buildings) within the Planning Area be inventoried and upgraded.

Policy GEO-1.4

Seismic Safety by Design

Ensure that all new construction is designed to meet current safety regulations.

GEOLOGY AND SEISMICITY IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
General			
1.0 Structures in the Alquist-Priolo Special Studies Zone shall be set back 50 feet from each side of a mapped active fault or fault zone. The setback may be reduced based upon a geologic fault report that includes fault trenching (see also 3.0).	GEO-1.1	Community Development Dept.	Development Review
2.0 No emergency or critical use facility such as a hospital, school, fire and police station, utility facility, and communication facility shall be located within a Alquist-Priolo Special Studies Zone.	GEO-1.2	Community Development Dept.	Development Review

GEOLOGY AND SEISMICITY IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
<p>3.0 All development proposals located within the Alquist-Priolo Special Studies Zone, as indicated on Figure 5.6-2 in the ESR, shall be required to prepare/complete the following:</p> <ul style="list-style-type: none"> ▶ A geologic report based on fault trenching prepared by a California registered geologist for all subdivision(s) of land or proposals for construction of structure(s) for human occupancy. The report shall define and delineate any seismic hazard on the project site in accordance with the Alquist-Priolo Act, Appendix B criteria. ▶ A copy of the final geologic report shall be forwarded to the State Geologist within 30-days of the City's review and approval of the report. 	GEO-1.1 GEO-1.2	Community Development Dept.	Development Review
4.0 When reviewing projects for ministerial or discretionary action, the City shall apply the Land Use Compatibility Chart (Table 5.6-1 at the end of this section) for Special Studies Zones and Fault Hazard Zones.	GEO-1.2	Community Development Dept..	Development Review
5.0 Amend the City's zoning and building codes to incorporate siting and design criteria for all critical, sensitive, and high-occupancy facilities.	GEO-1.2	Community Development Dept.	Within 1 year of adoption of General Plan
Seismically Induced Ground Shaking			
6.0 The City shall require that all structures within the City be built to the latest seismic safety requirements of the California Uniform Building and Safety Code.	GEO-1.1 GEO-1.4	Community Development Dept.	Building Plan Check
7.0 The City shall amend the City's zoning and building code to incorporate the latest Uniform Building Code seismic standards. Review of the seismic standards shall occur on an ongoing basis, and amendments to the City's applicable codes shall occur when necessary.	GEO-1.5	Community Development Dept.	Within 1 year of adoption of General Plan Ongoing updates

GEOLOGY AND SEISMICITY IMPLEMENTATION MEASURES

	Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
8.0	The City shall require that water heaters in all new structures to be secured to a wall.	GEO-1.5	Community Development Dept.	Building Plan Check
9.0	The City shall develop and adopt an effective program to inventory and seismically upgrade identified hazardous buildings within the City. The program shall be in compliance with Senate Bill 547, which requires local jurisdictions to develop a program that reduces the hazard of structural damage in existing unreinforced masonry buildings during seismic events. The program shall include inventorying pre-1934 unreinforced masonry buildings within the City and developing a mitigation program that corrects the structural hazards identified with the inventoried buildings.	GEO-1.4	Community Development Dept.	Within 1 year of adoption of General Plan

Landslides

10.0	All development proposals in the Indio Hills shall prepare a site-specific geotechnical/geologic study to determine slope stability, erosion potential, and the impacts of earthquakes.	GEO 1.1 GEO-1.2 SO-1.1	Community Development Dept. Public Services Dept.	Development Review
11.0	The City shall require that grading in hillsides consist of techniques that follow the natural gradient and contour of the hillside.	GEO-1.2 SO-1.1 OS-2.2 CD-1.14	Community Development Dept. Public Services Dept.	Development Review

Liquefaction

12.0	The City shall require a liquefaction report prepared by a California registered civil engineer practicing in soils engineering for each development proposal that is located within the liquefaction hazard zone as indicated on Figure 5.6-2 in the ESR; the report may be part of a larger geotechnical report.	GEO-1.2	Community Development Dept. Public Services Dept.	Development Review
13.0	When reviewing projects for ministerial or discretionary action, the City shall apply the Land Use Compatibility Chart for Liquefaction Areas (see Table 5.6-2 at the end of this section).	GEO-1.2	Community Development Dept.	Development Review

GEOLOGY AND SEISMICITY IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
Seiches			
14.0 The City shall coordinate with the Coachella Valley Water District in the siting of water tanks or reservoirs. Encourage the placement of water tanks underground or in areas that will not impact downstream properties or structures in the event of tank or reservoir failure.	GEO-1.3	Community Development Dept. Public Services Dept.	Ongoing

Table 5.6-1

LAND USE COMPATIBILITY CHART FOR SPECIAL STUDIES ZONES AND FAULT HAZARD ZONES

Land Uses	Compatibility In Special studies Zones or County Fault Hazard Zones
Critical Nuclear related systems; major dams; explosives or hazardous materials manufacturing, handling, or storage; hospitals and other emergency medical facilities	Restricted
Essential Police, fire, and communications systems; Emergency Operations Centers (EOC's); electric power inter-tie systems; power plants; small dams; utility substations; sewage treatment plants; waterworks; local gas and electric distribution lines; aqueducts; major pipelines; major highways, bridges and tunnels, ambulance services; public assembly sites with 300 or more capacity; schools	Restricted
Normal-High Risk Multi-family residential of 20 or more units; major commercial including large shopping centers; office buildings; large hotels; health care clinics and convalescent homes; heavy industry; gas station	Generally Unsuitable
Normal-Low Risk Single-family and two-family residential; Multi-family or less than 20 units; small scale commercial; small hotels, motels; light industry; warehousing; parks	Provisionally Suitable
Restricted - Restricted unless alternative sites are not available or feasible and it is demonstrated through a site investigation that, although mitigation may be difficult, hazards will be adequately mitigated.	
General Unsuitable - Restricted unless site investigation demonstrates that site is suitable or that hazards will be adequately mitigated.	
Provisionally Suitable - Requires site investigation to confirm suitability; may require some modification of facility design or siting.	

Table 5.6-2

**LAND USE COMPATIBILITY CHART FOR
LIQUEFACTION AREAS**

Land Uses	Degree of Compatibility in Liquefaction Potential Zones		
	High Zone	Medium-High Zone	Medium Zone
Critical Nuclear related systems; major dams; explosives or hazardous materials manufacturing, handling, or storage; hospitals and other emergency medical facilities	Restricted	Restricted	General Unsuitable
Essential Police, fire, and communications systems; Emergency Operations Centers (EOC's); electric power inter-tie systems; power plants; small dams; utility substations; sewage treatment plants; waterworks; local gas and electric distribution lines; aqueducts; major pipelines; major highways, bridges and tunnels, ambulance services; public assembly sites with 300 or more capacity; schools	Restricted	Restricted	Generally Unsuitable
Normal-High Risk Multi-family residential of 20 or more units; major commercial including large shopping centers; office buildings; large hotels; health care clinics and convalescent homes; heavy industry; gas station	Restricted	Generally Unsuitable	Provisionally Suitable
Normal-Low Risk Single-family and two-family residential; Multi-family or less than 20 units; small scale commercial; small hotels, motels; light industry; warehousing; parks	Restricted	Generally Unsuitable	Provisionally Suitable
Restricted - Restricted unless alternative sites are not available or feasible and it is demonstrated through a site investigation that, although mitigation may be difficult, hazards will be adequately mitigated.			
General Unsuitable - Restricted unless site investigation demonstrates that site is suitable or that hazards will be adequately mitigated.			
Provisionally Suitable - Requires site investigation to confirm suitability; may require some modification of facility design or siting.			

5.7 FLOOD HAZARDS

GOAL FH-1

Protect the public health, safety, and welfare and minimize the damage to structures, property, and infrastructure related to flood hazards or events.

Policy FH-1.2

Protect Downstream Properties

The City shall ensure that stormwater runoff from development projects do not adversely impact downstream properties.

Policy FH-1.1

Flood Protection

The City shall ensure that adequate flood protection is provided throughout the community.

FLOOD HAZARDS IMPLEMENTATION MEASURES

Implementation Measure		Implements What Policy	Who is Responsible	Timeframe
1.0	The City shall continue to adopt and promote flood safety standards set forth by the Federal Emergency Management Agency (FEMA) in areas that are susceptible to flooding.	FH-1.1	Public Services Dept.	Ongoing
2.0	The City shall work with CVWD to identify regional flood hazards and develop a comprehensive Flood Control Master Plan for the region.	FH-1.1	Public Services Dept.	Within 1 year of adoption of General Plan
3.0	The City shall restrict development of habitable structures within the 100-year flood zone unless an engineering study is provided with feasible mitigation measures.	FH-1.1	Public Services Dept. Community Development Dept.	Development Review
4.0	The City shall work with property owners to revise the FEMA maps to correctly show the limits of the 100-year flood zone. Revisions to the FEMA maps will eliminate the need for flood insurance on properties that are protected from flood-related hazards.	FH-1.1	Public Services Dept.	Ongoing
5.0	The City shall construct the improvements identified in the Flood Control System Master Plan required by Implementation Measure 2.0.	FH-1.1	Public Services Dept.	Ongoing

FLOOD HAZARDS IMPLEMENTATION MEASURES

Implementation Measure		Implements What Policy	Who Is Responsible	Timeframe
6.0	The City shall work with CVWD to periodically review and revise Flood Control Improvement Standards to ensure that adequately sized facilities are being planned and constructed.	FH-1-1	Public Services Dept.	Ongoing
7.0	All projects shall be designed to retain incremental stormwater runoff onsite until at such time master plan facilities are constructed to accept drainage flow.	FH-1.1 FH-1.2	Public Services Dept.	Development Review
8.0	All development projects shall be designed.	FH-1.1 FH-1.2	Public Services Dept.	Development Review

5.8 AIRPORTS

GOAL AIR-1

Protect the public's health, safety, and welfare and protect the continued use of the Bermuda Dunes Airport through the exclusion of incompatible land uses in the safety zones surrounding the airport facility.

Policy AR-1.1

Airport Land Use Plan Compatibility

Ensure the safety and health of people living and working in the Bermuda Dunes Airport influence area.

Policy AR-1.2

Monitor Airport Plans

The City shall communicate with the operators of the Bermuda Dunes Airport and the Riverside County Airport Commission to monitor expansion plans, revisions, and updates to the airport operations plan.

Policy AR-1.3

Light and Glare

Discourage land uses that produce glare, direct illumination, vapor, smoke, or dust that may effect airport operations.

AIRPORTS IMPLEMENTATION MEASURES

Implementation Measure		Implements What Policy	Who is Responsible	Timeframe
1.0	Require that development proposals within the Bermuda Dunes Airport influence area, as indicated on Figure 5.8-1 in the ESR, be compatible with the Bermuda Dunes Airport Land Use Plan.	AIR-1.1	Community Development Dept.	Development Review
2.0	The City shall work with the public school districts and private school owners during the school siting process to ensure that no school is located within 2 miles of the Bermuda Dunes Airport.	AIR-1.1	Community Development Dept.	Ongoing
3.0	The Planning Department shall submit all development plans for projects within 2 miles of the exterior boundary of the Bermuda Dunes Airport that require a General Plan amendment to the Riverside County Airport Land Use Commission (ALUC) for review and comment. Comments received shall be incorporated into the General Plan amendment unless overridden by a 4/5's vote of the City Council.	AIR-1.1	Community Development Dept.	Development Review

AIRPORTS IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
4.0 The City shall coordinate on an ongoing basis with the operators of the Bermuda Dunes Airport and the Riverside County Airport Commission to monitor expansion plans, revisions, and updates to the airport operations plan. The City shall provide input to the Riverside County Airport Commission through the environmental and planning review process on airport related plans. City review and comment shall include, but is not limited to, noise, safety, and air quality issues as they relate to property and people within the City.	AIR-1.2	Community Development Dept. Riverside County Airport Commission	Ongoing
5.0 The City shall require that land uses within the Bermuda Dunes Airport influence area be free of critical use and highrisk land uses such as the following:	AIR-1.1 AIR-1.2	Community Development Dept.	Development Review
<ul style="list-style-type: none"> ▶ Places of Assemble: Auditoriums, churches, schools, carnivals, drive-in theaters, and so forth. ▶ High Patronage Services: Bowling alleys, restaurants, theaters, motels, banks, and so forth. ▶ Large Retail Outlets: Department Stores, supermarkets, drug stores, and so forth. ▶ Residential Uses: Lot sizes smaller than 2.5 acres. ▶ Critical Facilities: Telephone exchanges; radio/television studios; hospitals, emergency care facilities; and so forth. ▶ Flammable Products: Bulk storage of fuels, gasoline and liquid petroleum service stations, manufacture of plastics, breweries feed and flour mills and so forth. 			

AIRPORTS IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
6.0 The City shall amend the City's zoning code to include restrictions on land uses in the Bermuda Dunes Airport influence area. Restrictions shall include the types of land uses not allowed for safety reasons, restrictions on the type and use of lighting, building materials, and heights of structures. The City's zoning regulations shall be consistent with the Bermuda Dunes Airport Land Use Plan.	AIR-1.1	Community Development Dept.	Within 1 year of adoption of General Plan
7.0 Structures for human occupancy proposed to be constructed within the 65-CNEL noise level contour of the airport shall contain sound-proofing in order to achieve an interior noise level not to exceed 45 CNEL.	AIR-1.1 NOI-1.2 NOI-1.3	Community Development Dept.	Building Plan Check
8.0 The City shall require aviation easements for all new land uses within the Bermuda Dunes Airport influence area.	AIR-1.1	Community Development Dept. Public Services Dept.	Development Review

HOUSING

6.1 INTRODUCTION

The Housing Element is the official city response to housing as a local public policy matter. This document is a comprehensive assessment of existing and future housing needs for all segments of the community and all economic groups. Additionally, this document provides policy programs to meet the community's housing needs.

Indio is located in the Coachella Valley, an area considered to have an abundance of affordable housing compared to southern California standards. However, even in Indio, providing affordable housing to all residents is a difficult task and cannot be completed by private enterprise alone.

One jurisdiction alone should not be expected to solve a region's housing problems or even its own. Housing is a regional issue and is not bounded by city or county boundaries. The Southern California Association of Governments (SCAG) and the Coachella Valley Association of Governments (CVAG) both study their respected regions to attempt to solve regional issues such as housing and advise local jurisdictions on their responsibilities to provide adequate housing opportunities.

6.1.1 Purpose

Section 65580 of Government Code Article 10.6 states that "the availability of housing is of vital statewide importance, and the early attainment of decent housing and a suitable living environment for every California family is a priority of the highest order." The housing element is one of the seven state mandated elements required in a general plan. Although part of this larger document is set apart by several factors, the Department of Housing and Community Development (HCD) has the authority to review and certify housing elements, as opposed to the Office of Planning and Research (OPR), which reviews all other general plan elements. The

housing element is also unique in that it is the only element that is required to analyze a 5-year planning period. The housing element is the only element in which the state specifically identifies an extensive list for required content. In accordance with state law, the Indio housing element evaluates demographic and housing trends, special housing needs groups, existing and future housing needs, housing constraints and opportunities, goals and policies, and a 5-year housing program. All these sections help to fulfill the primary goal of the housing element, which is to identify the unmet housing need existing within the community and address those needs through appropriate programs in the 5-year housing program section.

6.1.2 Organization

The housing element is consistent with the General Plan update process in that it is presented in two distinct documents. The first document is the Environmental Setting Report (ESR) which contains the background information for the general plan. The ESR contains the following information pertaining to housing: a review of the City's previous housing element; an overview of the City's existing housing market, including discussions on population and household trends; an assessment of existing housing needs, to include special housing needs groups; and a discussion of constraints on housing development, both governmental and nongovernmental.

The General Plan is the second of the two documents and contains the individual elements that generally consist of an introduction and the goals, policies, and implementation measures. The City's housing element is broken down into the following three sections:

- ▶ Section 6.1 is the introduction and provides the purpose of the document, how it is organized, state legislation and guidelines, and a discussion

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of the housing element's relationship to the other elements of the general plan.

Section 6.2 discusses future housing needs of the community, an at-risk analysis of affordable units, and a land use inventory.

Section 6.3 details the goals, policies, and implementation measures relative to the maintenance, preservation, improvement, and development of housing that guide the housing element and address the needs identified in the assessment of housing needs section.

Section 6.4 outlines the City's 5-year housing program that sets forth a 5-year schedule of actions the City is undertaking to achieve the goals and policies and implement the implementation measures of the housing element.

6.1.3 State Legislation and Guidelines

Housing Element Law states that the availability of housing is of vital statewide importance, and the attainment of decent housing and a suitable living environment for every Californian is a priority of the highest order.

California Planning Law requires the inclusion of the housing element as one of the seven required elements that form a jurisdiction's General Plan. Housing elements are required to be updated every 5 years in order to address the community's current housing needs. The City of Indio's housing element was last updated in 1989.

According to Housing Element Law (Section 65583), "The housing element shall consist of an identification and analysis of existing and projected housing needs and a statement of goals, policies, quantified objectives, and scheduled programs for the preservation, improvement, and development of housing. The housing element shall identify adequate sites for housing, and shall make adequate provision for the existing and projected needs of all economic segments of the community."

The housing element is required by state law to include all of the following.

Housing Needs Assessment

Analysis of population and employment trends and documentation of projections of the locality's existing and projected housing needs for all income levels; to include the locality's share of regional housing needs.

Analysis and documentation of household characteristics, including level of payment compared to ability to pay, housing characteristics, including overcrowding, and housing stock condition.

Inventory of land suitable for residential development, including unimproved sites and sites having potential for redevelopment, and an analysis of the relationship of zoning and public facilities and services to these sites.

Analysis of governmental and nongovernmental constraints upon the maintenance, improvement, or development of housing for all income levels.

Analysis of special housing needs groups, such as those of the handicapped, elderly, large families, single parent households, and the homeless.

Analysis of opportunities for energy conservation with respect to residential development.

Analysis of existing assisted housing developments at risk of converting to market rate housing.

Goals and Policies

Statement of the community's goals, policies, and implementation measures relative to the maintenance, preservation, improvement, and development of housing.

Implementation Program

The Housing Program sets forth a 5-year schedule of actions through which the City intends to achieve the goals and policies of the housing element.

- Identify adequate sites made available through appropriate actions to provide housing for all income levels.
- Assist in the development of adequate housing to meet the needs of low- and moderate-income households.
- Address and if possible remove governmental constraints to the maintenance, improvement, and development of housing.
- Conserve and improve the condition of the existing affordable housing stock.
- Promote housing opportunities for all persons regardless of race, religion, sex, marital status, ancestry, national origin, or color.
- Preserve assisted housing developments for lower income households.

6.1.4 Relationship to Other Elements

The City of Indio started a comprehensive update to its General Plan at the end of 1991. As mandated by state law, the General Plan includes all seven mandated elements: land use, housing, circulation, open space, conservation, noise, and safety. As allowed by state law, the seven mandated elements have been consolidated into the following four elements to allow for ease of use and the maintenance of the plan's currency:

Community development element. This element contains the land use and circulation elements.

Housing element.

Environmental resources element. This element consolidates the conservation and open space elements.

Public health and safety element. This element consolidates the noise and safety element and also includes an air quality subelement.

The housing element is not a stand-alone document; it is closely related to the other elements of the plan and consistency between elements is of the utmost importance. Consistency between elements and currency of the document is regulated through the government section of the GPR. The housing element was prepared as a part of the overall General Plan update and facilitated consistency with the other elements of the General Plan.

6.1.5 Public Participation

The overall approach used for public participation for the General Plan update is discussed in Section 2.2 of the CIR. Community members and active organization in affordable housing issues were contacted and their input was solicited for inclusion in the housing portions of the ESR and GPR, in addition to shelter providers throughout the area.

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6.2 FUTURE HOUSING NEED

6.2.1 SCAG Based Future Housing Needs

Due to the regional level of housing needs, most cities are affected by neighboring communities in regards to future housing needs that are generated at the regional level. A city's housing need and supply are not necessarily confined by its borders. The local Council of Governments (COGs) determines the existing and projected housing need for its region. SCAG is a six-county regional government providing information and recommendations to Ventura, Los Angeles, Orange, Imperial, Riverside, and San Bernardino Counties. CVAG provides additional information and recommendations to the Coachella Valley area. SCAG and CVAG both made recommendations for Indio's fair share housing need. The needs published by SCAG differ from CVAG because SCAG estimates are projections of historical housing growth trends while CVAG estimates are based on population growth projections determined by future development, in addition to growth standards set by the various subregions. Housing law requires local governments to use SCAG's projections when calculating future housing needs for their respective housing elements. See Table 6.2-1 for a comparison of SCAG and CVAG housing needs. Table 6.2-2 shows a comparison of RHNA numbers for communities in the Coachella Valley.

Housing Units Required by SCAG

SCAG's Regional Housing Needs Assessment (RHNA) anticipates the number of housing units that will be necessary to support the future population and employment of the community. The RHNA distributes the Future Housing Need by four income categories: very low income (less than 50 percent of the metropolitan area median income), low (50 to 80 percent), moderate (80 to 120 percent), and high (more than 120 percent).

The SCAG RHNA numbers in Table 6.2-2 have been adjusted to reflect the number of dwelling units constructed between January 1, 1989 and January 1, 1992. Assumptions were made as to the affordability of these units based on existing housing trends in the community. Fifty-five percent of these

units were assumed to be affordable for very low and low income households and 45 percent for moderate and high income households. This determination was based on the average monthly housing cost of \$619.00 per month, the weighted average of the average mortgage and rental costs. The adjusted SCAG RHNA numbers determines that Indio needs a total of 1,878 new units for the period between July 1989 and July 1996, 660 of which are needed to be affordable for very low and low income households and 1,218 for moderate and high income households, as shown in Table 6.2-3. In summation, to meet the RHNA guidelines, Indio must provide 1,878 units or approximately 13 percent of the existing stock. Of the units needed 35 percent fall into the category affordable to households with low and very low incomes and 65 percent into the moderate and high categories.

Table 6.2-3

SCAG RHNA Adjusted Housing Need
By Income Category

Very Low Income	Low Income	Moderate Income	High Income	Total
307	353	284	934	1,878

According to SCAG, the number of units identified for future housing needs is not a required quota for the local jurisdiction to fill by a certain date, but simply an identification of the housing needs for the region allotted by jurisdiction.

The State Department of Housing and Community Development has determined that local jurisdictions shall account in their housing elements for the future needs that would have already taken place in the gap period, January 1988 to June 1989. Each jurisdiction shall make adjustment to their planning for the 1989-1986 period by comparing what has already occurred in this gap period to the estimated need determined by SCAG.

SCAG determined that Indio's housing need during the period from January 1988 to June 1989, defined as the gap period, is an additional 870 units.

Table 6.2-1

SCAG RHNA NEED COMPARISON TO CVAG NEED

Jurisdiction	SCAG 7/94	CVAG 1/95
Cathedral City	5,431	6,066
Coachella	643	3,125
Desert Hot Springs	1,622	1,911
Indian Wells	310	1,453
Indio	2,899	5,891
La Quinta	1,262	2,583
Palm Desert	1,964	3,382
Palm Springs	2,844	5,797
Rancho Mirage	678	2,065
Unincorporated	2,645	2,778
Total	20,298	35,053
Source: Southern California Association of Governments, Regional Housing Needs Assessment, 1988. Coachella Valley Association of Governments, 1989		

Table 6.2-2

SCAG RHNA FUTURE HOUSING NEEDS BY INCOME CATEGORY

Jurisdiction	Total	Very Low Income	Low Income	Moderate Income	High Income
Cathedral City	5,431	1,010	1,281	949	2,191
Coachella	643	135	137	160	210
Desert Hot Springs	1,622	256	363	412	589
Indian Wells	310	31	38	27	214
Indio	2,899	532	690	559	1,118
La Quinta	1,262	206	200	231	625
Palm Desert	1,964	303	367	340	954
Palm Springs	2,844	533	649	446	1,217
Rancho Mirage	678	112	118	93	355
Unincorporated	2,645	503	600	490	1,052
Total	20,298	3,621	4,443	3,707	8,525
Source: Southern California Association of Governments, Regional Housing Needs Assessment, 1988					

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Replacement Housing

According to SCAGs 1988 RHNA, between July 1989 and July 1994, a total of 20 dwelling units will need to be built in Indio in order to replace those lost to demolitions during this timeframe. This number has been incorporated in SCAG's future needs analysis. The SCAG projection does not include units torn down because of public works or redevelopment projects. The Redevelopment Agency is required to replace the 74 housing units that were demolished as part of the Indio Fashion Mall expansion project. Seventy-five percent of the units to be replaced must be of the same incomerange. The replacement units must contain at least as many bedrooms as the original units. For example, a two bedroom apartment could not be used to replace a three bedroom apartment.

Employment Projections and Housing Affordability

SCAG periodically develops a regional Growth Management Plan (GMP). The GMP forecasts growth for the region and identifies the areas where new jobs and new development are expected to occur. SCAG does not determine what types of jobs are to be created in specific communities or the incomes expected from these jobs.

SCAG formulates three other major plans: the RHNA, Regional Mobility Plan (RMP), and the AQMP. The plans are all related to the GMP due to the effects of growth on these areas and to each other.

INDIO FACTS: *The median value for owner-occupied housing units, including single-family dwellings, condominiums, and mobile homes, is \$83,600.*

Indio's employment base is largely composed of the retail trade industry (18.59 percent) with a major portion of the workforce involved in service and clerical occupations (33.13 percent) (see Tables 6.2-4 and 6.2-5). It is anticipated that as retail sales continue to increase an even larger share of Indio's major employment industry, retail trade, service, and clerical occupations will continue to proportionally increase. The number of persons employed in farming and forestry, 2,269 or 15.04 percent, is expected to decrease as the economy continues to shift away from a dependence on agricultural production.

Housing prices have risen at a higher rate than income since the 1970s in southern California. Housing affordability used to only be a problem for very low income groups; however, with the increasing gap between housing costs and income, even many moderate households are being squeezed out of the housing market. Even in Indio, one of the more affordable communities in the southern California region, rising land costs are pricing many of the lower income households out of the market. Even some moderate income households can no longer afford to buy a new home in the area. According to the 1990 Census figures, the median value for owner-occupied housing units, including single-family dwelling units, condominiums, and mobile homes, is \$83,600. Average housing prices distribution throughout the City is shown on Figure 6.2-1. An affordability analysis has been prepared and is presented in Table 6.2-6. The analysis shows that very low income households are priced out being able to purchase the median priced housing unit in Indio ranges identified in the analysis.

The average contract rent in Indio is \$436 per month (see Table 6.2-7 for more information). A minimum income of \$15,696 would be required in order for a household to afford the median rent of \$436, assuming 30 percent of gross income for rent. Very low income households would have difficulty affording the median rent. These households will generally need to overpay for housing in order to obtain housing. The median rent is generally affordable to households with low and moderate incomes. Larger families will have increasing difficulties in relation to the size of the family in finding affordable rental housing.

Table 6.2-4

EMPLOYMENT BY INDUSTRY

Occupation	Percent		Percent Change
	1980	1990	
Retail Trade	19.4	18.6	-.8
Agriculture	15.0	14.1	-.9
Construction	9.7	10.0	+.3
Personal	9.3	8.9	-.5
Health	5.2	7.9	+2.7
Education	7.5	6.0	+1.5
Entertainment/Recreation*		5.1	
Repair (Business)	3.6	5.0	+1.4
Other (Professional)	3.5	5.0	+1.0
Public (Administration)	5.3	4.5	-.8
Finance	4.5	3.4	-1.1
Wholesale Trade	3.2	3.1	-.1
Communication	6.5	3.0	-3.5
Non-Durable Manufacturing	1.8	2.2	+.4
Transportation	1.9	2.0	+.1
Durable Manufacturing	3.2	1.5	-1.7
Mining*		0.3	
Total	100.0	100.0	

Source: 1980 & 1990 Census * New Categories in 1990

Table 6.2-5

EMPLOYMENT BY OCCUPATION

Occupation	Number		Percent Change
	1980	1990	
Service	16.7	20.9	+4.2
Farming/Forestry	15.9	15.0	-.9
Managerial	10.1	14.3	+4.2
Clerical/Administration	15.9	12.2	-3.7
Craft/Repair	14.5	11.4	-3.0
Sales	9.2	10.1	-1.0
Laborers	8.5	6.6	-1.9
Assemblers	2.6	3.7	-1.1
Transportation	4.4	3.0	-1.5
Technicians	2.2	2.7	+.4
Total	100.0	100.0	

Source: 1980 & 1990 Census

Table 6.2-6

**AFFORDABILITY ANALYSIS NO. 1
BASED ON MEDIAN HOUSEHOLD INCOME
10% DOWN PAYMENT, 7-1/8% MORTGAGE INTEREST**

Purchase Price	\$83,600
Down Payment (10%)	\$8,360
Mortgage Loan (90%)	\$75,240
Yearly Gross Income Required	\$26,400
Monthly Mortgage Payment	\$600
Source: Bank of America, July 1993	

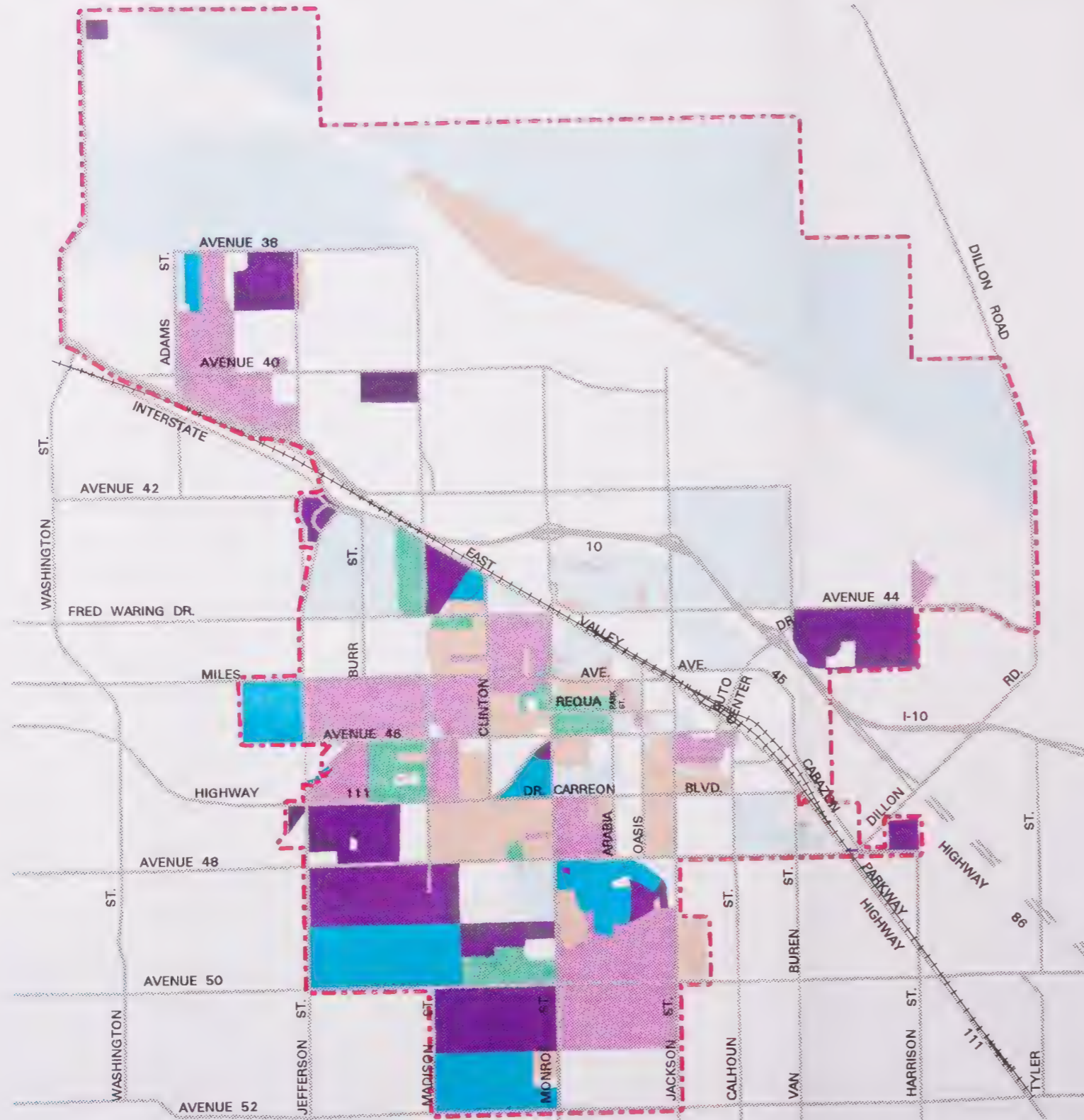
Table 6.2-7

CONTRACT RENT

With Cash Rent	Number of Persons
Less than \$100	91
\$100 to \$149	332
\$150 to \$199	270
\$200 to \$249	392
\$250 to \$299	264
\$300 to \$349	803
\$350 to \$399	561
\$400 to \$449	611
\$450 to \$499	803
\$500 to \$549	728
\$550 to \$599	563
\$600 to \$649	210
\$650 to \$699	106
\$700 to \$749	79
\$750 to \$999	82
\$1,000 to more	16
No Cash Rent	135
Median Contract Rent	\$436.00

Source: 1990 Census for PA*


*** Planning Area includes City's Sphere of Influence in addition to the City limits.**



Median Home Value

- Less than \$50,000
- \$50,000 to \$75,000
- \$75,000 to \$100,000
- \$100,000 to \$125,000
- \$125,000 to \$150,000
- \$150,000 to \$200,000
- Greater than \$200,000

Figure 6.2-1
1990 CENSUS
MEDIAN HOME VALUES

**Chambers Group, Inc.**
Robert Kahn, John Kain & Associates
Associated Engineers
Stanley R. Hoffman Associates
Zeiser Geotechnical


1" = 6000'

6.2.2 At-Risk Analysis

Inventory of Units At-Risk of Losing Use Restrictions

This inventory is based on information provided from the City of Indio planning staff, County of Riverside Housing Authority, and Urban Futures (Administrator for multifamily revenue bond projects in the City). This inventory includes all multi-family rental units which are assisted under any of the federal programs listed in subdivision (a) of Section 65863.10, state and local multifamily revenue bond programs, local redevelopment programs, the federal Community Development Block Grant Program, or local in-lieu fees. Currently, according to City staff, the City of Indio only has federally assisted and multifamily revenue bond projects.

The overall time period for this analysis is the next ten years and is further broken down into two five year periods. The first portion runs from October 1993 to September 1998, the second October 1998 to September 2003.

The following information was compiled based on the California Housing Partnership Corporation's "1991 Annual Summary: Inventory of Low Income Rental Units Subject to Termination of Federal Mortgage and/or Rent Subsidies by the Year 2008" and discussions with personnel on the Housing Preservation Team at HUD's Los Angeles office and the Bond Administrator of Urban Futures, Inc. regarding at-risk Multi-Family Revenue Bond projects.

1. Name and address of property:

Palo Verde
44-720 Palo Verde Ave.
Indio, CA 92201

Name and address of property owner:

John M. Turner
5151 N. Palmo 190
Fresno, CA 93704

Type of governmental assistance received:

Section 221(D)(3)

Earliest possible change from low-income use:

Eligible for conversion to market rate units in 1988. Preliminary approval has been given for extension under Title 2 and would extend contract to 2008. Project is currently in 60-day comment period.

Total number of units that could be lost:

80 FHA financed units

2. Name and address of property:

Mecca Vineyards
83-385 Gemini
Indio, CA 92201

Name and address of property owner:

Indio Community Housing
225 Franklin St. 29
Boston, MA 92110

Type of government assistance received:

Section 236(J)(1)
Section 8

Earliest possible change from low income use:

The project's Section 8 contract expires on July 18, 1994. Notice of intent under Title 6 is under review and would extend contract to remaining life of project, minimum of 50 years. Values from appraisals were sent to owners on August 27, 1993. No Plan of Action has been received yet.

Total number of units that could be lost:

268 FHA financed units, all are Section 8

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3. Name and address of property:

Jackson Terrace
46-211 Jackson
Indio, 92201

Name and address of property owner:

Sommer and Leventhal
4050 Katella No. 104
Los Alamitos, CA 90720

Type of government assistance received:

Section 8

Earliest possible change from low income use:

Section 8 contract expires on June 3, 1996. No
notice for nonrenewal has been received to date.

Total number of units that could be lost:

36 Section 8 units

4. Name and address of property:

Smoketree
81875 Avenue 48
Indio, CA 92201

Name and address of property owner:

Smoketree Association
P.O. Box 19711
Irvine, CA 92713

Type of government assistance received:

MRB 85 Series (A)

Earliest possible change from low income use:

September 25, 1998

Total number of units that could be lost:

58

5. Name and address of property:

Carreon Villa I
8203 Doctor Carreon Blvd.
Indio, CA 92201

Name and address of property owner:

Peter Tonti
23836 Blue Hill Bay
Laguna Niguel, CA 92677

Type of government assistance received:

MRB 85 Series (A)

Earliest possible change from low income use:

April 9, 1996

Total number of units that could be lost:

26

6. Name and address of property:

Carreon Villa II
8203 Doctor Carreon Blvd.
Indio, CA 92201

Name and address of property owner:

Peter Tonti
23836 Blue Hill Bay
Laguna Niguel, CA 92677

Type of government assistance received:

MRB 85 Series (B)

Earliest possible change from low income use:

January 10, 1998

Total number of units that could be lost:

25

7. Name and address of property:

Casa Monroe
46745 Monroe
Indio, Ca 92201

Name and address of property owner:

Richard Rifanbark
26 Churchill Lane
Rancho Mirage, CA 92270

Type of government assistance received:

MRB 88

Earliest possible change from low income use:

December 18, 1996

Total number of units that could be lost:

45

8. Name and address of property:

Sunrise Point
46725 Clinton
Indio, CA 92201

Name and address of property owner:

Western Federal Savings and Loan Association
13160 Mindanao Way
Suite 210
P.O. Box 9959
Marina del Rey, CA 90295-2359

Type of government assistance received:

MRB 85 Series (A)

Earliest possible change from low income use:

May 19, 1998

Total number of units that could be lost:

55

Potential for Loss of Units During First Time Period

The first period runs from October 1993 to September 1998. The Palo Verde project is not considered at-risk of conversion since its Section 8 extension has received preliminary approval. However, all of the other projects listed above are at risk of conversion to market rate housing during the first 5 year period for a total of 513 units.

Section 8 contract renewal is eligible for additional incentives with restrictions and could help minimize the risk of conversion for both the Mecca Vineyards and Jackson Terrace projects. LIHPRHA provides incentives for Section 236 projects which would include Mecca Vineyards.

Potential for Loss of Units During the Second Time Period

The second time period runs from October 1998 to September 2003. No units are at-risk of conversion to market rate during this period.

Cost Estimates for Preservation and Replacement

Mecca Vineyards is financed through HUD Section 236. LIHPRHA provides incentives for Section 236 projects. HUD will provide mortgage loan insurance on loans for up to 95 percent of the equity. Mecca Vineyards could be sold to a qualified nonprofit. The total cost for the 268 unit project is estimated to be 15,544,000. This number is based on HUD's estimate of \$58,000 per 2 bedroom unit. If the City of Indio decided to contribute 5 percent of the total cost, their share would be approximately \$777,200.

The cost of producing new rental housing to replace all at-risk MRB units would be a total of approximately \$14,210,000, based on an average of \$58,000 for the 268 units. As opposed to ~~the~~ providing a portion of the cost in association with a nonprofit group.

The cost of replacing all at-risk units in the City would come to \$29,754,000. The cost of

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construction would be partially offset by rental income. However, it would be more cost effective for the City to help nonprofit groups acquire and manage these projects than to construct new units.

Resources for Preservation

The County of Riverside Housing Authority works with Section 8 freestanding projects strictly on a year to year basis. Although they plan to continue services in Indio, due to budget restrictions they are unable to commit any resources to the preservation of at-risk units.

The Coachella Valley Housing Coalition and Catholic Charities have both expressed interest to the City in the development and/or preservation of affordable housing in the community. These two nonprofit groups have a great deal of experience in the Coachella Valley region.

The City does not currently receive CDBG funds but is planning to in the future. Therefore, there is no estimate of availability for the planning period.

The City does not presently receive any HOME funds not is it planning to receive any during the planning period.

The City estimates it will have approximately \$4.5 million in its 20 percent Redevelopment Setaside fund by the end of the planning period, June 1996. This is the sole source of funds for preservation of at-risk units the City has or will have available. These funds are vital to the preservation and development of low cost housing in the community since they can be leveraged with other public and private funds to maximize the benefit to low income households.

Quantified Objectives

The City's quantified objectives for preservation and development of affordable housing are discussed in Section 6.4 of this document.

Programs to Preserve At-Risk Units

Programs to preserve at-risk units are discussed in Section 6.3 of this document.

6.2.3 Range of Housing Opportunities

As stated in the General Plan's Mission Statement (Page 1-1), one of the City's main objectives for the General Plan was to "plan for a diversified City which offers residential opportunities to all ages and income levels. . ." Like all objectives stated in the Mission and Vision Statements, the provision of housing is affected directly or indirectly by all aspects of the General Plan. The direct impacts on the provision of housing are primarily from the Land Use Subelement (Section 3.1) and the Housing Element.

The Land Use Subelement contains the Land Use Diagram and associated land use designations that control the location and density/types of housing that can be built in the Planning Area. These designations allow for a range of housing types, including: large lot estates in the Equestrian Estates (EE) and Country Estates (CE) designations; single family developments in the Residential Low (RL) designation; single family attached products in the Residential Medium (RM) designation; and, multifamily projects in the Residential High (RH) designation. The Land Use Subelement also provides for mixed use projects that allow commercial and residential uses to be combined in the same location. The Village Core (VC) designation requires a mix of multifamily, neighborhood commercial, and recreation uses. The Mixed Use-Development Agreement (MU(DA)) and Mixed Use-Specific Plan (MU(SP)), and Downtown Commerce (DC) designations also allow for mixed use projects. These mixed use categories work to provide housing opportunities close to employment and shopping opportunities. In order to encourage residential neighborhood units with a mix of housing opportunities, the City also has large areas of the community with a Residential Planned Development (RPD) overlay designation. This designation allows flexibility in design in exchange for additional amenities and recreational opportunities.

Although housing elements generally place an emphasis on the provision of lower end units, the provision of residential opportunities for moderate and higher income households is also important. SCAG determined that Indio is deficient in this area in its 1988 RHNA figures, and after adjustment to include units constructed since January 1989, needs

to provide 934 units for high income households and 284 units for moderate income households. A total of 1,878 units are needed to address the needs of all income levels, of this number, 1,218, or 65 percent are needed for moderate and high income households. Indio has continually had difficulty providing housing opportunities for higher income households and experiences a drain on the professional class in the community. Professionals working in the community have historically left Indio after work to return to their homes in other communities, simply because Indio did not offer the range of housing desired.

Indio is a major employment center in the Coachella Valley and has plans to continue this role in the future. Therefore, the community's ability to provide housing for these workers, many of which are low and very low income households is a significant factor in maintaining this role. Although housing for moderate to high income levels can be met with the goals, policies, and implementations provided in the Land Use Subelement (and outlined above), these market driven responses will not be enough to ensure the provision of housing for low and very low income households. In response to this, the Housing Element provides additional goals, policies, and implementation measures to ensure that adequate housing is available to all residents.

6.2.4 Housing Opportunities

Availability of Sites for Housing

This section discusses potential affordable housing sites that can be developed in the future under the City's General Plan.

Unimproved Land

The majority of the land in the planning area (55 percent), which includes the City limits and the sphere-of-influence, is unimproved. The percentage of land currently used for agricultural purposes is 25 percent of the total land area. Combined, the existing unimproved and agricultural lands account for 80 percent of the total land in the Planning Area. According to CVAG's 1991 figure, the City currently has 14,536 dwelling units. The General Plan

proposed a total 67,121 at buildout, an increase of 52,585 dwelling units or 462 percent (see Table 6.2-8). Based on an even distribution over time for development of residential units, approximately 10 percent or 5,259 dwelling units will be added in the Planning Area during the planning period, approximately 17 percent of these or 894 will be in the high-density category. Densities at this level will allow for the development of affordable housing. Due to increasing land costs, it has become necessary to require high-density areas of this type to make affordable housing practical. Even with a 25-percent density bonus, the medium-density designation, which allows for eight du/ac (12 du/ac including the density bonus) would be expensive and require government subsidies. Although not impossible, any designation lower than the high-density designation being evaluated here would probably not be economically practical.

Table 6.2-9 shows the potential buildout for high-density residential uses. High-density residential (up to 20 du/ac) is allowed in the following land use designations: Residential High (RH), Downtown Commerce (DC), Mixed Use (Development Agreement) [MU(DA)], and Mixed Use (Specific Plan) [MU(SP)]. These areas allow affordable housing to become economically feasible.

Figure 6.2-2 visually depicts potential affordable housing sites and differentiates areas that are currently vacant or developed in each of the land use designations allowing high-density residential uses. Table 6.2-10 displays calculations of buildout of vacant acreage designated for high-density residential uses.

Those sites that are not sufficiently close to existing services and infrastructure that would preclude them from development during the planning period have been left out of this analysis. The only site that was taken out of the analysis due to lack of public services and facilities during the planning period was the Village Core area located in the northern portion of the planning area. This area is not expected to develop during the planning period due to a lack of infrastructure in the area. All other areas are already served or are planned to be served within the planning period.

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Table 6.2-8
RESIDENTIAL BUILDOUT

GP	General Plan Designation	Modified Gross Acres	Base Units	Maximum Units With RPD
CE	Country Estates	3,013.3	2,260	10,547
EE	Equestrian Estates	638.6	958	958
RH	Residential-High Density	333.4	5,004	5,004
RL	Residential-Low Density	6,052.7	24,213	27,668
RM	Residential-Medium Density	1,215.7	8,509	11,405
DC	Downtown Commerce	102.6	461	461
MU (DA)	Mixed Use (Dev. Agreement)	346.3	1,039	1,039
MU (SP-100)	Mixed Use (Specific Plan)	102.6	462	462
MU (SP-200)	Mixed Use (Specific Plan)	212.1	954	954
MU (SP-300)	Mixed Use (Specific Plan)	269.5	1,213	1,213
VC	Village Core	72.3	543	724
SP-231	SP-231: Adams 34	537.4	941	941
SP-281	SP-281: Del Webb	1,307.2	5,745	5,745
Total		14,203.7	52,245	67,121

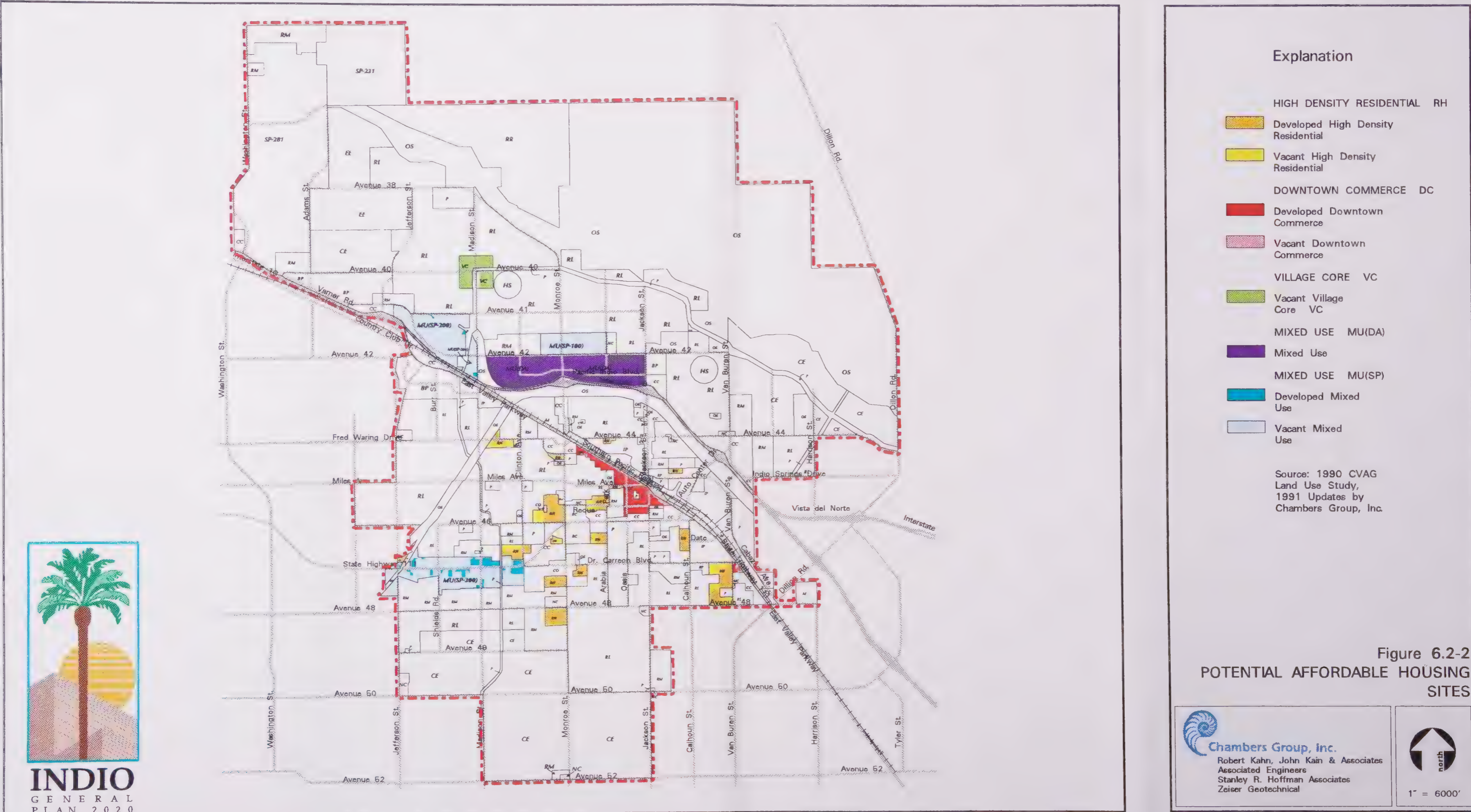


Table 6.2-9

HIGH-DENSITY BUILDABLE ACREAGE*

GP Designation	Percent High-Density Acreage	Modified Gross Acreage	Threshold Units (12)	Moderate Units (15)	Maximum Units (20)	Maximum with 25-Percent Low Income Density Bonus
RH	100	333.4	4,001	5,001	6,668	8,335
MU (DA)	20	69.3	831	1,039	1,385	1,731
MU (SP)	30	175.3	2,103	2,629	3,505	4,381
Total		578.0	6,935	8,669	11,558	14,447
* Does not include Village Core or Downtown Commerce due to lack of potential for development during planning period.						

HOUSING

Table 6.2-10

POTENTIAL AFFORDABLE HOUSING SITES

GP Designations	Vacant Modified Gross Acres	Potential DUs
Residential High (RH)	87.1	1,742
Downtown Commerce (DC)	4.5	90
Mixed Use (DA)	69.5	1,390
Mixed Use (SP-100)	30.9	617
Mixed Use (SP-200)	61.2	1,224
Mixed Use (SP-300)	62.0	1,240
Total	315.2	6,303

This analysis shows that a total of 6,303 high-density units could be developed on currently vacant land within the planning area. Based on an even distribution of development over time, approximately 10 percent or 630 dwelling units could be developed during the planning period. This would more than cover both the very low and low housing needs called out by SCAG in the Regional Housing Needs Assessment (RHNA) (660 for low and very low combined).

Analysis of sites with respect to appropriate zoning is not necessary due to the current status of the City's zoning code. The City is currently in the process of updating its zoning code to be consistent with the newly updated General Plan. Although the zoning code will further define residential densities, the categories outlined in the General Plan give an approximate level of development. An analysis with the previous zoning code, which is consistent with the City's previous General Plan, would not result in the desired outcome.

Redevelopment Areas

The City has two redevelopment areas consisting of 2,434 acres. The Indio Centre redevelopment area contains a total of 909 acres and is located in the center of the Planning Area. It is evenly divided by the freeway. The Date Capital redevelopment area contains a total of 1,724 acres and is broken up into two distinct areas: one south of the freeway and bordering the Indio Centre project on the north, and the other is north of the freeway and bordering Indio Centre on the south. Approximately 79 acres are currently vacant that would allow for high-density residential uses in the Date Capital redevelopment area (see Figure 6.2-3). Approximately 6 acres are available in the Indio Center redevelopment area for high-density residential uses and are currently undeveloped. These areas would allow for up to 20 du/ac, increased densities under the Density Bonus Ordinance would also be allowed.

Mobile Homes

Through encouraging the development of mobile home parks, the City can increase its affordable housing stock. The City has a large proportion of

mobile homes that have helped citizens find an alternate solution to the rising costs of housing.

Energy Conservation

Housing Element Law as defined in Article 10.6, Section 65583, Part 7 requires an analysis of opportunities for energy conservation with respect to residential development.

Energy conservation techniques should be focused on reducing the amount of energy being spent for heating and cooling through encouraging energy design in new construction and retrofitting of existing development. Due to Indio's geographic location in the desert, cooling in the summer is a major expense to homeowners and renters. Landscaping treatment should be required around residential neighborhoods to increase the amount of shade available during the summer months, therefore, decreasing indoor temperatures. Landscaping of parking lots in residential developments shall also be encouraged as a means to lower outdoor and indoor temperatures during the warmer months.

However, the additional costs associated with energy conservation can increase the costs of housing. Many federally subsidized housing projects are required to be energy efficient, which adds to construction costs.

HOUSING

6.3 GOALS AND POLICIES

**GOAL
H-1**

The community of Indio will ensure that adequate supplies of dwelling units are developed to provide a wide range of housing types, price ranges, and sizes to all sectors of the population.

**Policy
H-1.1****Higher-End Housing**

The City shall promote the development of higher-end housing to provide an opportunity for higher income households in the community.

**Policy
H-1.2****Disabled and Senior Housing**

The City shall encourage the development of housing suitable for persons with disabilities and seniors in order to adequately service these sectors of the community. Housing for seniors and the disabled shall be located within proximity to public transit and community services.

**Policy
H-1.3****Overcrowded Housing**

The City shall work to alleviate overcrowded housing conditions in the community.

**Policy
H-1.4****Housing Record**

The City shall develop an effective housing record to document housing activity in the City.

**GOAL
H-2**

The City will maintain the integrity of existing residential areas so residents can continue to enjoy these areas.

**Policy
H-2.1****Rehabilitation of Substandard Units**

The City shall encourage the rehabilitation of substandard units throughout the community.

**Policy
H-2.2****Code Enforcement Activities**

The City shall promote code enforcement activities as a means of halting deterioration of existing residential dwellings.

**GOAL
H-3**

Provide housing opportunities that are affordable to moderate, low, and very low income groups.

**Policy
H-3.1****Low Income Housing**

Encourage the provision of housing units that are affordable to moderate, low, and very low income groups.

**Policy
H-3.2****Homeownership Opportunities**

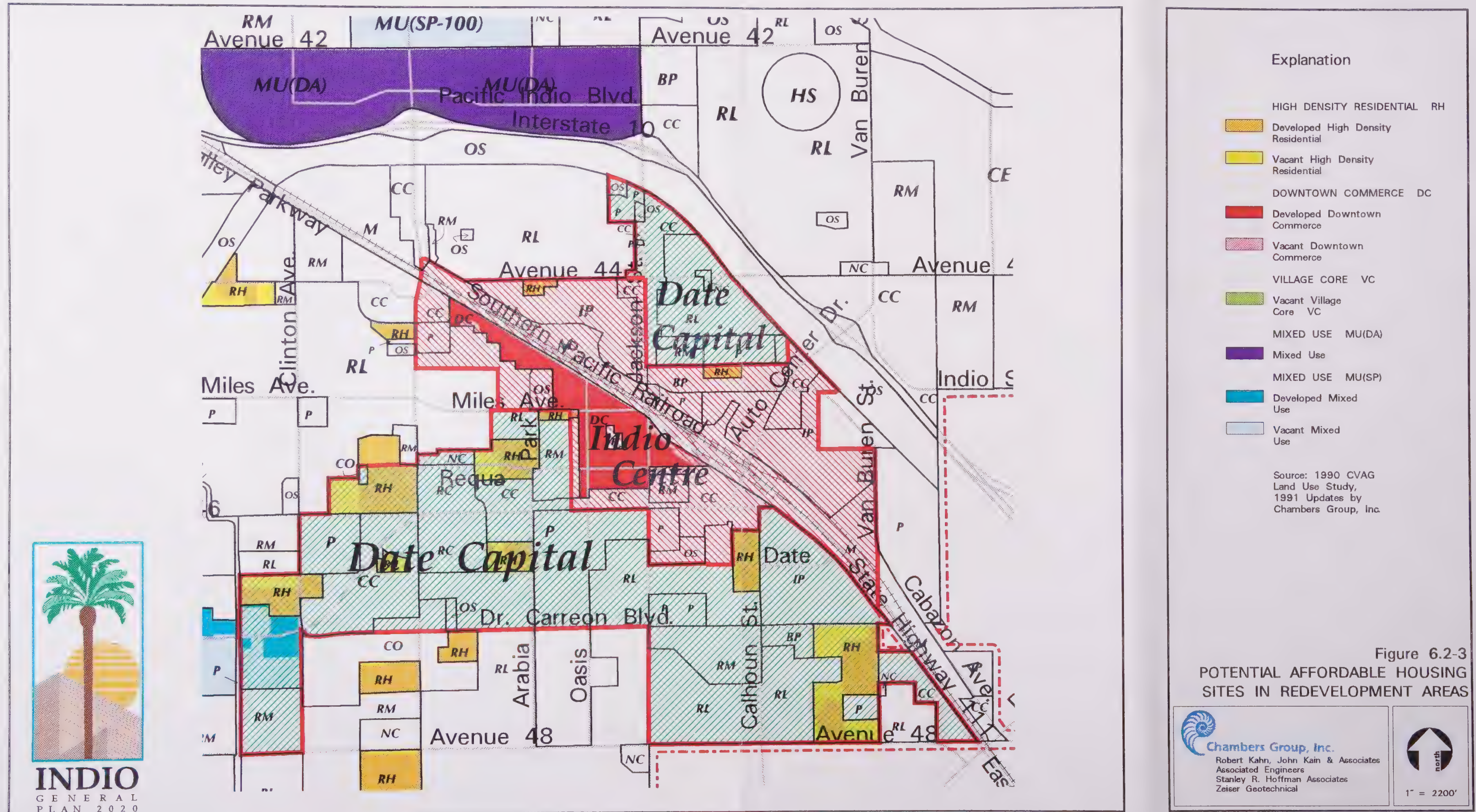
Encourage homeownership opportunities for low and moderate income households within the community.

**Policy
H-3.3****Mobile Home Parks**

The City shall preserve existing and promote the development of future mobile home parks as a means of affordable housing.

**Policy
H-3.4****Preservation of At-Risk Units**

The City shall work to preserve low income units at-risk of converting to market rate housing.



HOUSING IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
1.0 [Policy H-1.1 is implemented through the implementation measures listed in Section 3.1 of the Community Development Element.]	H-1.1	See Section 3.1 implementation measures	See Section 3.1 implementation measures
2.0 The City shall investigate incentives for the provision of senior units throughout the community including but not limited to reduced fees and processing times. Funding Source: Departmental budgets	H-1.2	Community Development Dept.	Staff recommendations by June 1994
3.0 The City shall investigate the development of a density bonus or other appropriate programs to help encourage the construction of residential units accessible to the disabled. Funding Source: Departmental budgets	H-1.2	Community Development Dept.	Staff recommendations by June 1994
4.0 The City shall develop a shared housing program targeted for seniors, which could put other seniors in touch with one another for shared living opportunities in existing residences. Funding Source: Community Development Block Grant (CDBG)	H-1.2	Community Development Dept.	January 1994
5.0 The City shall develop measures to encourage the construction of residential units geared toward large family households, including, but not limited to, density bonuses, reduction of fees and standards. Funding Source: Departmental budgets	H-1.3	Community Development Dept.	June 1994
6.0 The City shall provide financial assistance via low interest loans to assist low and moderate homeowners of overcrowded households with room additions to help alleviate current conditions. Funding Source: CDBG	H-1.3	Community Development Dept.	Begin accepting applications in June 1994

HOUSING IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
7.0 The City shall compile a record of housing activity to include both market and affordable housing units on a yearly basis.	H.1-4	Community Development Dept.	January 1995
Funding Source: Departmental budgets			
8.0 The City shall work with the County Housing Authority to develop Riverside County Home Mortgage Program for Rehabilitation to encourage rehabilitation and resale of FHA foreclosures.	H-2.1	Community Development Dept. Redevelopment Agency	January 1994
Funding Sources: No local funds are needed			
9.0 The City shall allocate additional funding for code enforcement to issue citations for infractions as an incentive for owners to properly maintain their property.	H-2.2	Fire Dept.	June 1994
Funding Source: Departmental budgets			
10.0 Initiate a rental housing inspection program throughout the City.	H.2-2	Community Development Dept. Fire Dept.	January 1995
Funding Source: Departmental budget			
11.0 The City shall investigate augmenting the current density bonus for affordable housing projects to increase the amount of units affordable to very low and low income households.	H-3.1	Community Development Dept.	January 1994
Funding Source: Departmental budgets			
12.0 The City shall continue to encourage the development of second units or granny flats in existing and proposed single family neighborhoods through appropriate zoning.	H-3.1	Community Development Dept.	June 1994
Funding Source: Departmental budgets			

HOUSING IMPLEMENTATION MEASURES

Implementation Measure	Implements What Policy	Who is Responsible	Timeframe
13.0 The City shall institute second mortgage assistance for low and moderate income first-time homebuyers. This program would be used in conjunction with tax exempt financing or Mortgage Credit Certificates if possible.	H-3.2	Community Development Dept. Redevelopment Agency	Begin accepting applications in January 1994
Funding Source: CDBG			
14.0 The City shall continue to encourage the development and preservation of mobile homes as a means of affordable housing through promotion of the Mobile Home Park Planned Development Zone and Mobile Home Park Overlay.	H-3.3	Community Development Dept.	January 1994
Funding Source: Departmental budgets			
15.0 The City shall revise zoning code where necessary to be consistent with state law.	H-3.3	Community Development Dept.	January 1994
Funding Source: Departmental budgets			
16.0 The City shall facilitate purchase of at-risk units that begin the conversion procedure.	H-3.4	Redevelopment Agency	June 1994
Funding Source: 20% setaside fund			

6.4 QUANTIFIED OBJECTIVES

Target Income Level	New Construction		Rehab Objectives	Preservation of At-Risk Unit Objectives
	RHNA	Objectives		
Very Low	307	200	25	60
Low	353	250	25	40
Moderate	284	200		
Above Moderate	934	800		
Total	1,878	1,450	50	100



ACRONYMS

AAQS	- Ambient Air Quality Standards	CVSWC	- Coachella Valley Stormwater Channel
ACHP	- Advisory Council on Historic Preservation	CVSWD	- Coachella Valley Stormwater District
AIPP	- Art in Public Places	CVUSD	- Coachella Valley Unified School District
ALS	- Advanced Life Support	CVWD	- Coachella Valley Water District
ALUC	- Airport Land Use Commission		
AQMP	- Air Quality Management Plan	dB	- decibels
AR	- Alternatives Report	dBA	- A-weighted sound level
AVR	- average rideshare	DC	- Downtown Commerce
		DOHS	- Department of Health Services
BGY	- billion gallons per year	DRB	- Design Review Board
BLM	- Bureau of Land Management	DSUSD	- Desert Sand Unified School District
BP	- Business Park	du	- density units
		du/ac	- density units per acre
CAAQS	- California Ambient Air Quality Standards	DWA	- Desert Water Agency
CBA	- Cotton/Beland Associates		
CBD	- Central Business District	EIR	- Environmental Impact Report
CDBG	- Community Development Block Grant	EOC's	- Emergency Operations Centers
CDFG	- California Department of Fish and Game	EPA	- Environmental Protection Agency
		ESR	- Environmental Setting Report
CEQA	- California Environmental Quality Act		
cfs	- cubic feet per second	FAR	- Floor to Area Ratio
CHP	- California Highway Patrol	FBI	- Federal Bureau of Investigation
CIR	- Community Issue Report	FEMA	- Federal Emergency Management Agency
CMP	- corrugated metal pipe		
CNDDDB	- California Natural Diversity Database	FHWA	- Federal Highway Administration
CNEL	- Community Noise Equivalent Level	FIRM	- Flood Insurance Rate Map
CO	- carbon monoxide	FTE	- Full Time Equivalent
CO ₂	- carbon dioxide		
COD	- College of the Desert	GLA	- Gross Leasable Area
COGs	- Council of Governments	GLO	- Government Land Office
CPD	- Commercial Planned Development	GMP	- Growth Management Plan
CSP	- Conceptual Specific Plan	gpm	- gallon per minute
CSP	- corrugated steel pipe	GPR	- Goals and Policies Report
CVAG	- Coachella Valley Association of Governments	GTE	- General Telephone and Electric Company
CVEZA	- Coachella Valley Enterprize Zone Authority	HABS	- Historic American Building Survey
CVRPD	- Coachella Valley Recreation and Park District	HCD	- Department of Housing and Community Development

HUD	- Federal Department of Housing and Urban Development	PM ₁₀	- suspended particulate matter
I-10	- Interstate 10	ppm	- parts per million
IC	- incident commander	PSP	- Project Specific Plan
ICMA	- Internal City Managers Association	Qal	- alluvium
ICS	- Incident Command System	Qb	- Quaternary bedrock
IID	- Imperial Irrigation District	Qds	- dune sand
IP	- Industrial Park	RCLS	- Riverside County Library System
JFD	- J.F. Davidson	RCP	- reinforced concrete pipe
LACM	- L.A. Cultural Museum	RCSWM	- Riverside County Solid Waste Management
LAFCO	- Local Agency Formation Commission	RH	- Residential High
Leq	- steady-state energy level equal to the energy centered of time varying period	RHNA	- Regional Housing Needs Assessment
Ldn	- Day-Night Noise Level	RMP	- Regional Mobility Plan
LOS	- Level of Service	RO	- Residential Office
MEA	- Master Environmental Assessment	ROG	- Reactive Organic Gases
MGA	- Modified Gross Acres	ROW	- Right-of-Way
mgd	- million gallons per day	RPD	- Residential Planned Development
mg/L	- milligrams per liter	SBCM	- San Bernardino County Museum
MHPD	- Mobile Home Park Planned Development	SCAB	- South Coast Air Basin
mm	- millimeters	SCAG	- Southern California Association of Governments
MPD	- Manufacturing Planned Development	SCAQMD	- South Coast Air Quality Management District
mph	- miles per hour	SCG	- Southern California Gas Company
MRZ	- Mineral Resource Zones	SCE	- Southern California Edison
MS	- Medical Services	SCS	- Soil Conservation Service
MTSO	- Mobile Telephone Switching Office	SEDAB	- South East Desert Air Basin
MU(DA)	- Mixed Use (Development Agreement)	SHIPP	- Shadow Hills Interim Policy Plan
MW(SP)	- Mixed Use (Specific Plan)	SHPO	- State Historic Preservation Officer
MWD	- Metropolitan Water District of Southern California	SIP	- State Implementation Plan
NAAQS	- National Ambient Air Quality Standards	SMARA	- Surface Mining and Reclamation Act
NCHRP	- National Cooperative Highway Research Program	SNPR	- significant nonrenewable paleontologic resources
NO	- nitric oxide	SPF	- Standard Project Flood
NO ₂	- nitrogen dioxide	SO ₂	- sulfur dioxide
NO _x	- nitrogen oxide(s)	SWAT	- Special Weapons and Tactics
NOP	- Notice of Preparation	TAMS	- tandem acceleration mass spectrometry
NOP/IS	- Notice of Preparation/Initial Study	TAZ	- Traffic Analysis Zone
NPDES	- National Pollutant Discharge Elimination System	Tb	- Tertiary bedrock
NRHP	- National Register of Historic Places	TDS	- total dissolved solids
NRPA	- National Recreation and Park Association	USDA	- United States Department of Agriculture
OES	- Office of Emergency Services	USFWS	- U.S. Fish and Wildlife Service
OPR	- Office of Planning and Research	USGS	- U.S. Geological Survey
O _x	- oxidant	UST	- underground storage tank
P-C	- production-consumption	VC	- Village Commercial
PCC	- Portland Cement Concrete	VSD	- Valley Sanitary District

